



Cleveland Board of Zoning Appeals

Monday February 28, 2022

****PLEASE MUTE YOUR MICROPHONE****

Kelley Britt, Board Chair

Elizabeth Kukla, Secretary

Cleveland Board of Zoning Appeals

February 28, 2022

Preamble

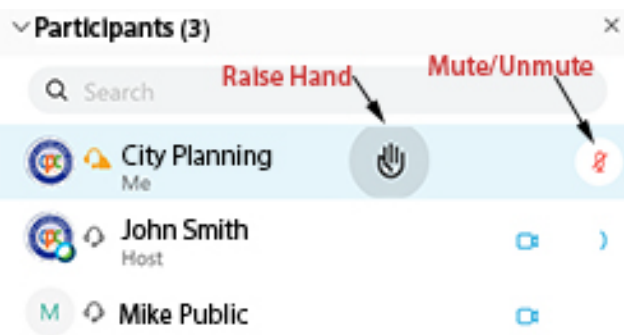
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF THE CITY'S OPEN MEETING LAW, AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

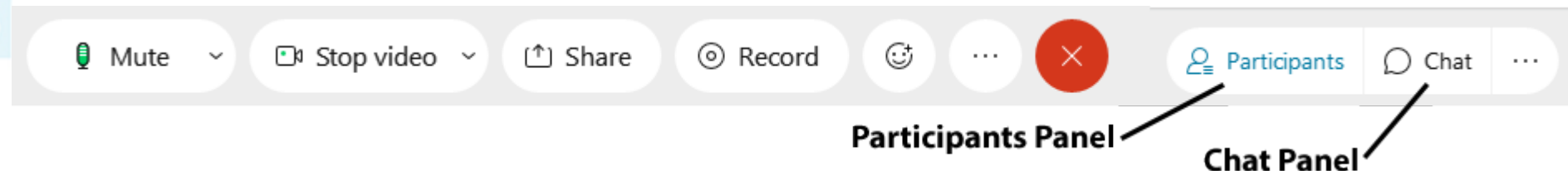
IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK.

WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



Cleveland Board of Zoning Appeals

February 28, 2022

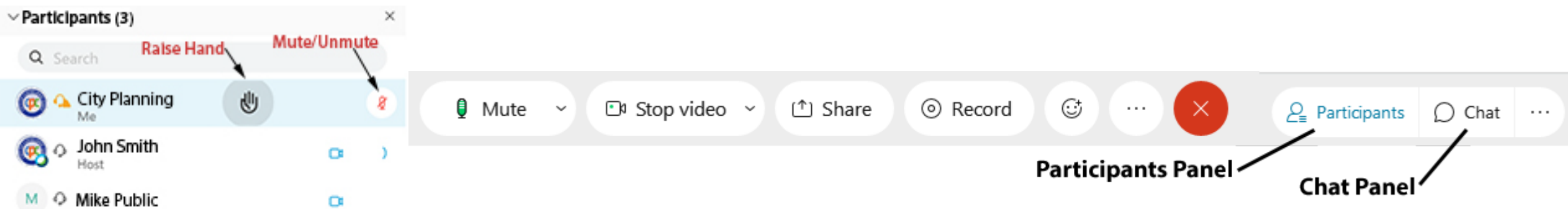
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE FOR PUBLIC VIEW.

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



Cleveland Board of Zoning Appeals

Call to Order & Roll Call



Cleveland Board of Zoning Appeals

Postponements/Withdrawals





NONE TODAY

Cleveland Board of Zoning Appeals

Public Hearing



Public Hearing

Calendar No. 22-010:

1966 E. 66th Street

Ward 7



The Cleveland Foundation, owner, proposes to erect a 196' by 68' carport with solar panels in MMUD-2 Zoning District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 344.04(d) which states that the uses is not listed in schedule 344.04 as either permitted Principal Use or Conditional Use and shall be a prohibited use in the MMUD Zoning District. In this case carport is not a listed as a principle or conditional use and is thereby prohibited. (Filed January 20, 2021)



Public Hearing

Calendar No. 22-010:

1966 E. 66th Street

Ward 7



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Calendar No. 22-010: 1966 East 66th Street

Madam Chair, Members of the Board, Appellant is requesting a use variance.

To obtain the use variance, Appellant must prove that denying the request:

1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and

That granting the variance will not be contrary to the purpose and intent of the zoning code

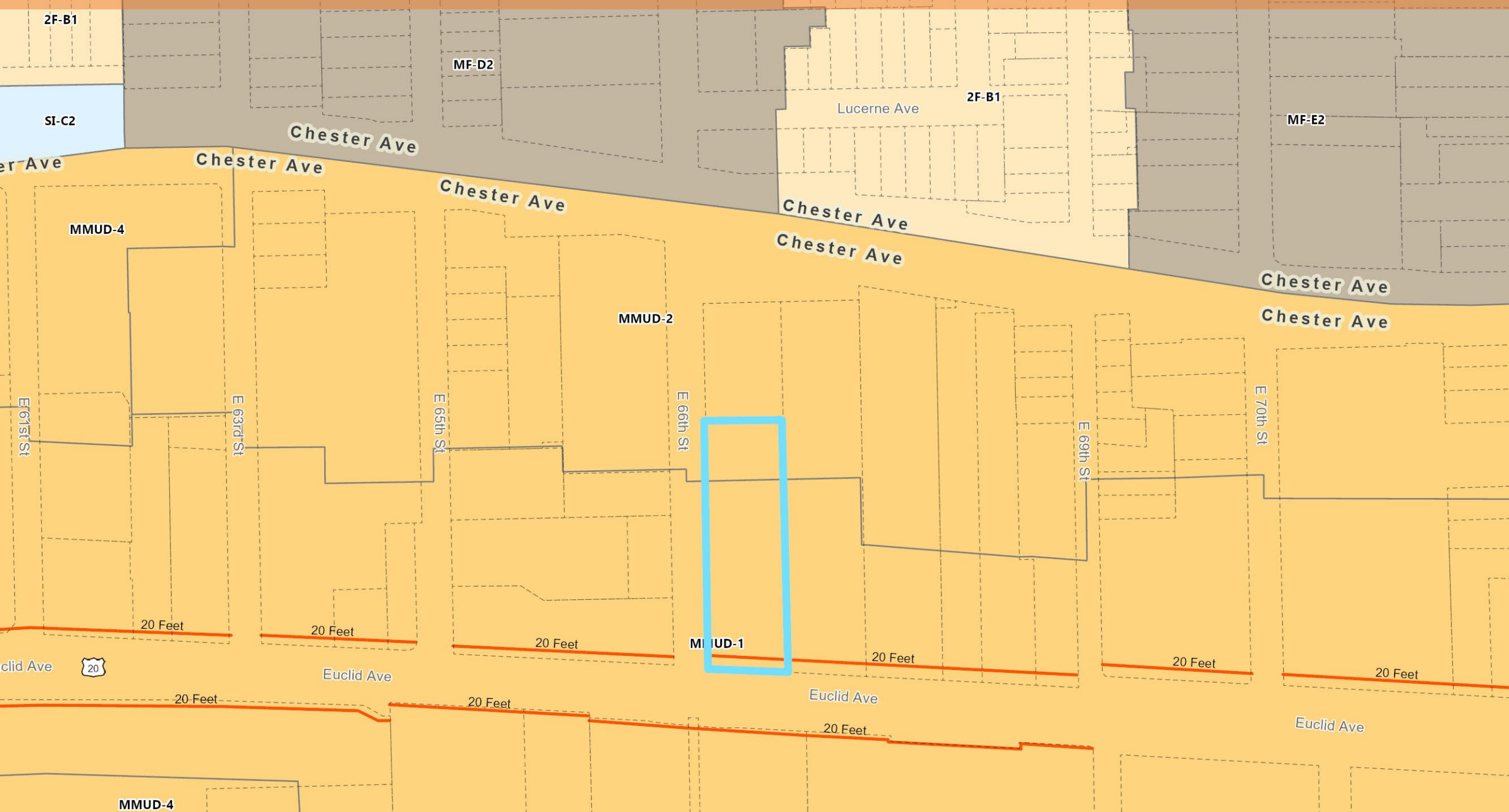


Chester Avenue (US 322)

Euclid Avenue (US 20)

East 66th Street





SOLAR CANOPY

FOR

BT SOLAR

AT

CLEVELAND FOUNDATION HQ

6600 CHESTER RD

CLEVELAND, OH 44115



PROFESSIONAL SEAL

DESIGNER'S SEAL APPLIED TO DESIGN OF STRUCTURAL COMPONENTS ONLY



RBI SOLAR IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS BUILT FROM SET Labeled "NOT FOR CONSTRUCTION"

SOLAR CANOPY FOR BT SOLAR

RELEASE RECORD

MARK	DATE	DESCRIPTION
4	01/05/22	5% REVIEW (R)
3	06/08/21	STAMPED
2	06/08/21	75% REVIEW
1	03/08/21	5% REVIEW

PROJECT INFORMATION

TITLE & ADDRESS
CLEVELAND FOUNDATION HQ
6600 CHESTER RD
CLEVELAND, OH 44115

RBI SOLAR PROJECT No:

2170016

DRAWN BY: WCC

REVIEWED BY: -

SHEET TITLE

COVER SHEET

SHEET No:

SC001

SYMBOLS LEGEND



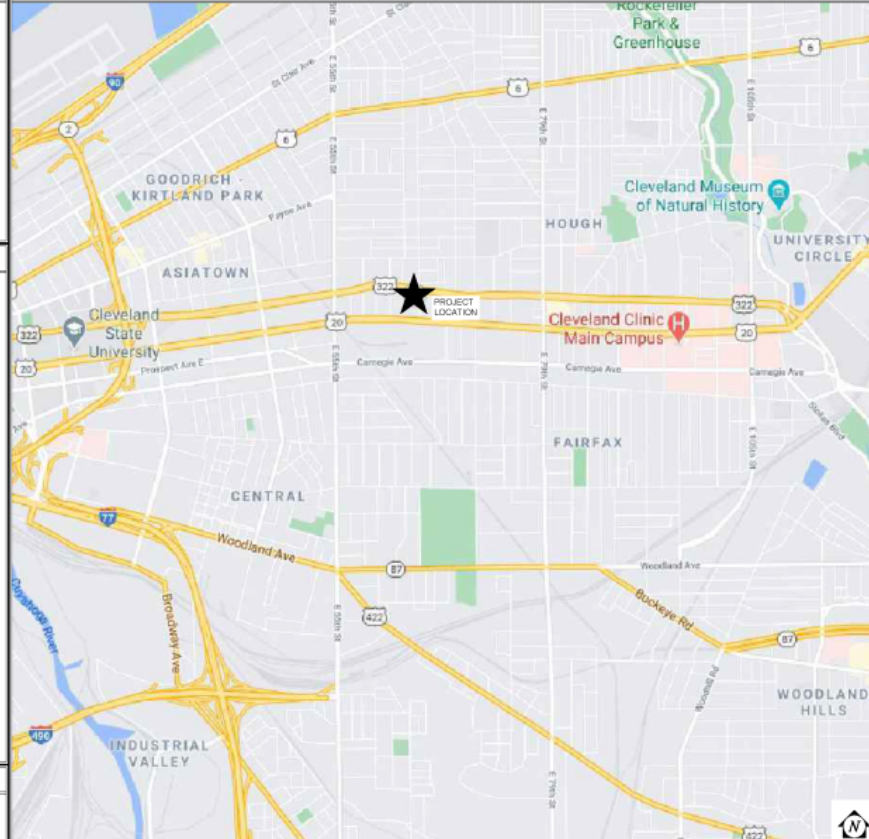
GOVERNING CODE

- 2017 OHIO BASIC BUILDING CODE
CONSTRUCTION TYPE: II
RISK CATEGORY: II
- DESIGN LOADS:
- DEAD LOADS:
 - STRUCTURE: 5.0 PSF
 - GLAZING: 30 PSF
 - E: 4
 - ROOF LIVE LOAD: 12 PSF
 - SNOW LOAD:
 - PS: 36 PSF (GROUND SNOW)
 - PS: 27 PSF (ROOF SNOW)
 - CS: 0.9
 - CS: 1.2
 - CS: 1.05
 - WIND LOAD (MAIN WIND FORCE RESISTING SYSTEM)
 - V_W: 115 MPH
 - V_W: 90 MPH
 - L_W: 1.05
 - EXPOSURE: B
 - SEISMIC LOADS (PARALLEL AND PERPENDICULAR TO CANOPY FRAMES)
 - S_u: 0.177
 - S_u: 0.058
 - S_u: 0.188
 - S_u: 0.083
 - L_u: 1.05
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY: B
 - SEISMIC FORCE RESISTING SYSTEM: CANTILEVERED COLUMN SYSTEM
 - DESIGN BASE SHEAR: V_b = 1,200 PSF
 - C_s: 0.151
 - R: 1.25
 - EQUIVALENT LATERAL FORCE ANALYSIS

SOLAR CANOPY SYSTEM SPECIFICATIONS

PV MODULE TYPE	CANADIAN SOLAR BHIKU	ACTIVE PV MODULES	560
MODULE MODEL #	CS3W-4HMB-AG	SPARE PV MODULES	-
ARRAY TYPE	FIXED TILT	TOTAL PV MODULES	560
ARRAY TILT	3 DEGREES	TOTAL WATTS	246.4 KW DC

VICINITY MAP



DRAWING INDEX

SHT. No.	SHEET DESCRIPTION	REL. No.	SHT. No.	SHEET DESCRIPTION	REL. No.
SC01	COVER SHEET	4			
SC02	GENERAL NOTES AND MODULE SPECIFICATION SHEETS	4			
SC03	SITE PLAN	4			
SC04	FOUNDATION AND COLUMN PLAN	4			
SC05	CANOPY SECTION	4			

RESPONSIBILITY SCHEDULE

ITEM DESCRIPTION	NA	RBI SOLAR	CUSTOMER	REMARKS
GEOTECHNICAL REPORT				
SITE SURVEY				
CONSTRUCTION SURVEY				EXISTING CONDITIONS - TOPO & LOCATE COLUMNS
CORROSION ANALYSIS				VERIFY COLUMN LOCATIONS
LOCATE SUBSURFACE UTILITIES/STRUCTURES				PRIVATE UTILITY LOCATE
SITE GRADING				
SPILLS REMOVAL				
FENCING				
TEMPORARY ELECTRIC				
PORTABLE TOILET				
MATERIAL UNLOADING				
MATERIAL STAGING				
DUMPSTER/REFUSE REMOVAL				
FOUNDATIONS				
ANCHOR BOLTS				
PV MODULES				
PV MODULE MOUNTING HOW				
PV MODULE GROUNDING HOW				
WIRE MANAGEMENT				
CANOPY GROUNDING				
SITE CLEAN-UP				
SPECIAL INSPECTIONS				
FOUNDATION GROUNDING				
OPTIONAL ADD-ONS				
RAISED PIERS				
DECKING				
GUTTERS & DOWNSPOUTS				
SNOW GUARDS				
FAUCET/PURIN (ENCLOSURE)				

■ RELEASE RECORD

4	01/05/02	56% REVIEW(RT)
3	06/08/01	STAMPED
2	06/08/01	75% REVIEW
1	03/08/01	56% REVIEW
MARK	DATE	DESCRIPTION

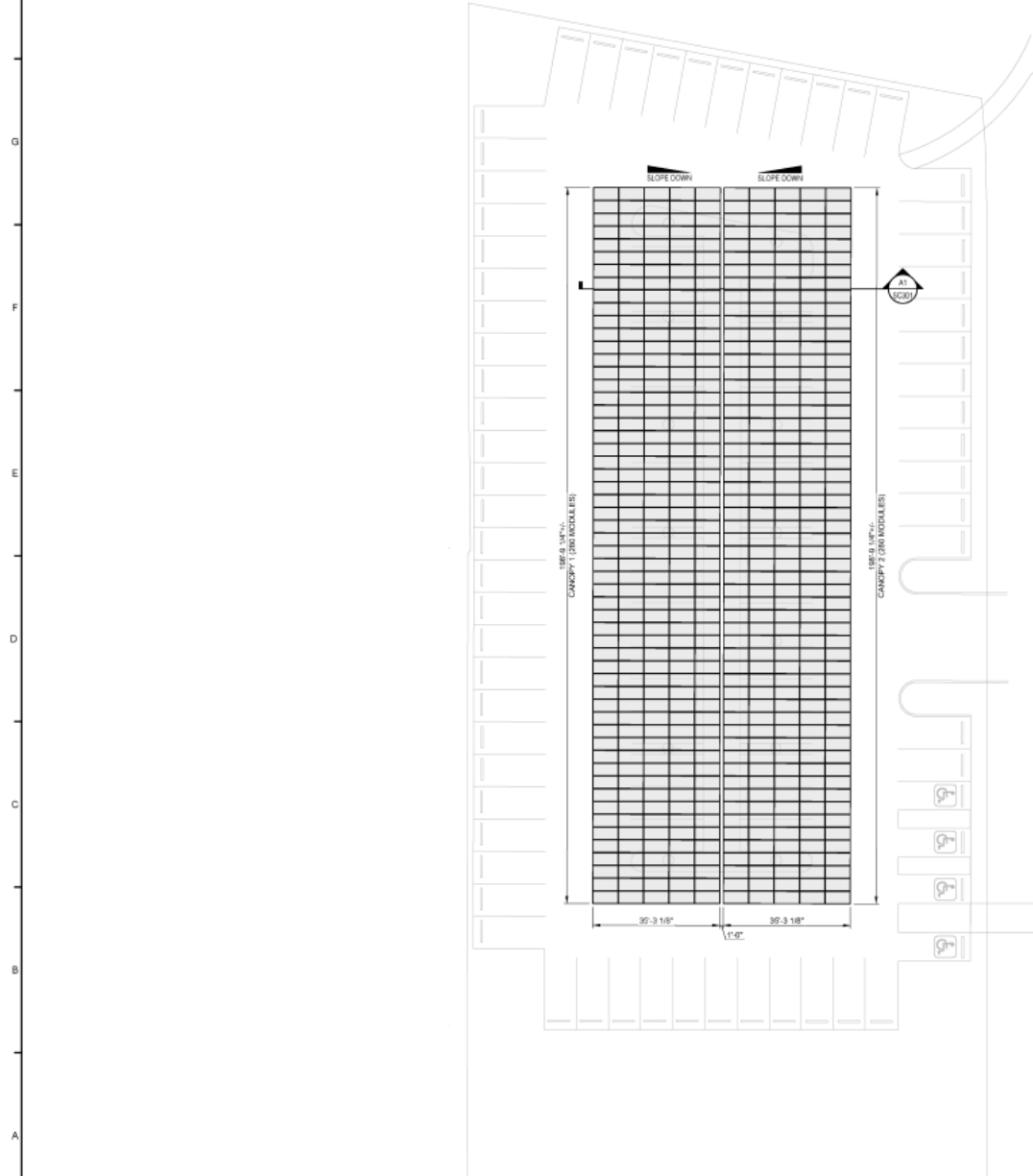
PROJECT INFORMATION

TITLE & ADDRESS:
**CLEVELAND
FOUNDATION HQ**

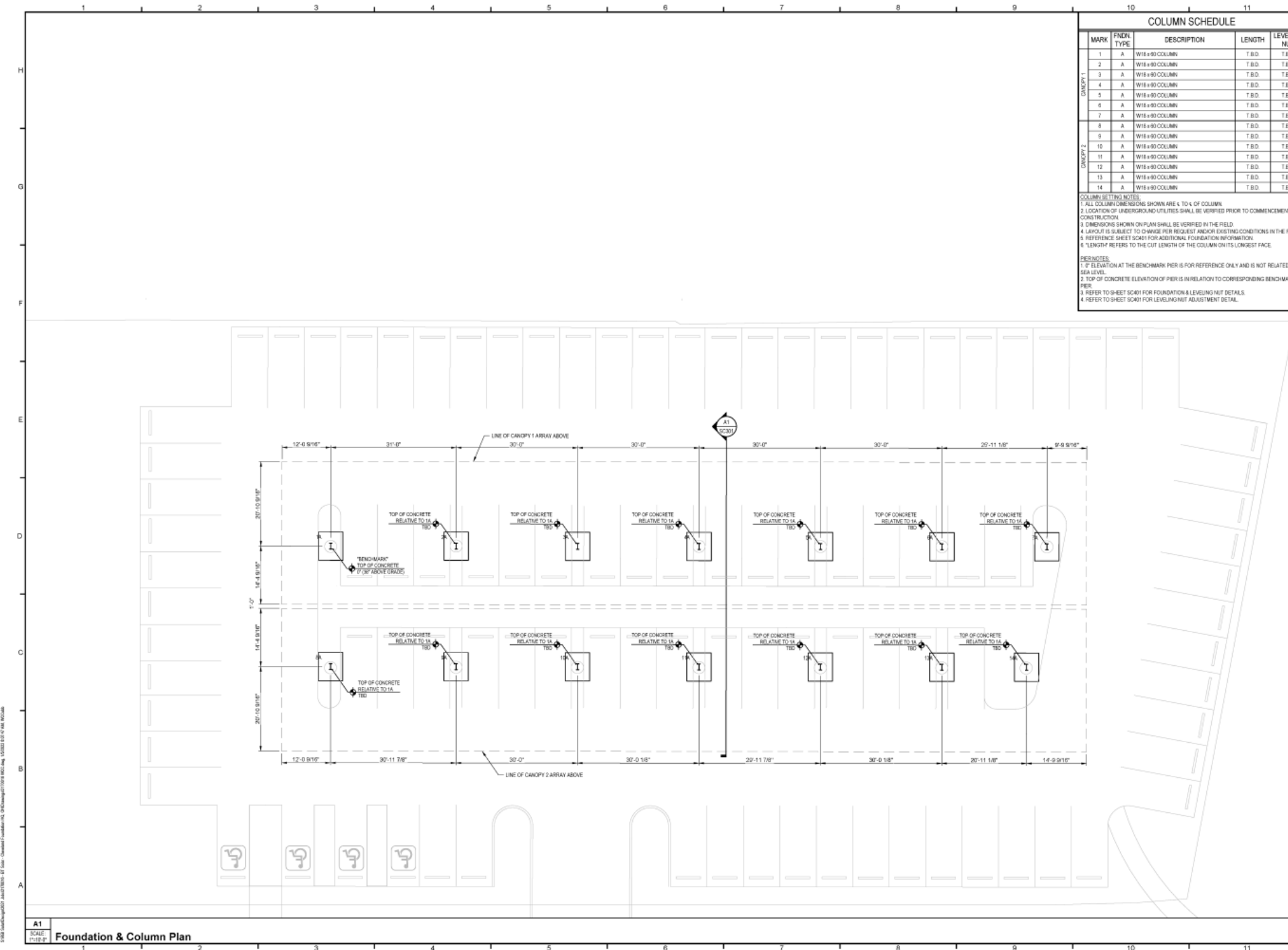
6600 CHESTER RD
CLEVELAND, OH 44115

RSE SOLAR PROJECT No : 2170016	
DRAWN BY: WCC	REVIEWED BY: —
SHEET TITLE: SITE PLAN	

SHEET No.:
SC003



Site Plan



COLUMN SCHEDULE					
	MARK	FNCL TYPE	DESCRIPTION	LENGTH	LEVELING NUT
CANNOPY 1	1	A	W16 x 60 COLUMN	7.80	7.80
	2	A	W16 x 60 COLUMN	7.80	7.80
	3	A	W16 x 60 COLUMN	7.80	7.80
	4	A	W16 x 60 COLUMN	7.80	7.80
	5	A	W16 x 60 COLUMN	7.80	7.80
	6	A	W16 x 60 COLUMN	7.80	7.80
	7	A	W16 x 60 COLUMN	7.80	7.80
CANNOPY 2	8	A	W16 x 60 COLUMN	7.80	7.80
	9	A	W16 x 60 COLUMN	7.80	7.80
	10	A	W16 x 60 COLUMN	7.80	7.80
	11	A	W16 x 60 COLUMN	7.80	7.80
	12	A	W16 x 60 COLUMN	7.80	7.80
	13	A	W16 x 60 COLUMN	7.80	7.80
	14	A	W16 x 60 COLUMN	7.80	7.80

1. COLUMN SETTING OUT
2. ALL COLUMN DIMENSIONS SHOWN ARE 1/4 OF TOTAL COLUMN
3. LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION
4. DIMENSIONS SHOWN ON PLAN SHALL BE VERIFIED IN THE FIELD
5. SUBJECT TO CHANGE PER REQUEST ANCHOR EXISTING CONDITIONS IN THE FIELD
6. REFERENCE SHEET SC401 FOR ADDITIONAL FOUNDATION INFORMATION
7. LENGTH REFERS TO THE CUT LENGTH OF THE COLUMN ONITS LONGEST FACE

REMARKS:

1. IF ELEVATION AT THE BENCHMARK PIER IS FOR REFERENCE ONLY AND IS NOT RELATED TO SEA LEVEL
2. IF CONCRETE ELEVATION OF PIER IS IN RELATION TO CORRESPONDING BENCHMARK PIER
3. REFER TO SHEET SC401 FOR FOUNDATION & LEVELING/HAUT DETAILS
4. REFER TO SHEET SC401 FOR LEVELING/HAUT ADJUSTMENT



PROFESSIONAL SEAL

ENGINEER'S SEAL APPLIED TO DESIGN OF
STRUCTURAL COMPONENTS ONLY

**NOT FOR
CONSTRUCTION**

RSI SOLAR IS NOT
RESPONSIBLE FOR
CONSTRUCTION THAT IS
BUILT FROM SET LABELED
"NOT FOR CONSTRUCTION"

SOLAR CANOPY
FOR
BT SOLAR

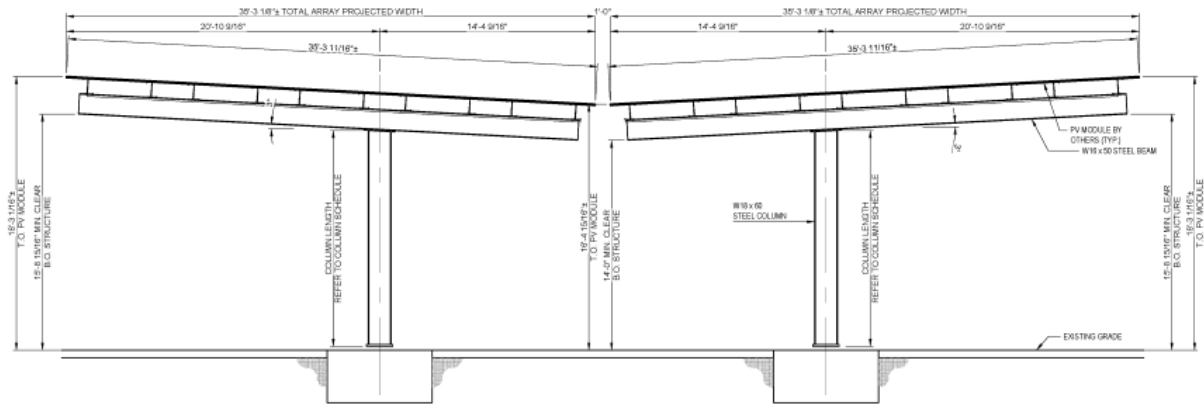
RELEASE RECORD		
4	01/05/22	58% REVIEW (R1)
3	00/08/21	STAMPED
2	06/08/21	73% REVIEW
1	03/08/21	58% REVIEW
MARK	DATE	DESCRIPTION

PROJECT INFORMATION	
TITLE & ADDRESS CLEVELAND FOUNDATION HQ	
6800 CHESTER RD CLEVELAND, OH 44115	
RES. SOLAR PROJECT No. 217D016	
DRAWN BY: WCC	REVIEWED BY: —
SHEET TITLE	
FOUNDATION AND COLUMN PLAN	
SHEET No. SC101	

S:\08 Building\0501_Arch\0501 - BT Solar - Cleveland Foundation\0501_BT Solar\0501-01-04.dwg 1/25/2016 10:49 AM WCC

A1
SCALE
3/4" = 1'-0"

Section



RBI SOLAR
Total Solar Service, Design & Fabrication
Installation - Permit - Solar Service
5513 VINE STREET
CINCINNATI, OH 45217
913.342.2851
FAX: 913.342.0816

PROFESSIONAL SEAL

DESIGNER'S SEAL APPLIED TO DESIGN
OF STRUCTURAL COMPONENTS ONLY

**NOT FOR
CONSTRUCTION**

RBI SOLAR IS NOT
RESPONSIBLE FOR
CONSTRUCTION THAT IS
BUILT FROM SETS LABELED
"NOT FOR CONSTRUCTION"

**SOLAR CANOPY
FOR
BT SOLAR**

RELEASE RECORD

MARK	DATE	DESCRIPTION
4	01/05/22	35% REVIEW (RI)
3	06/08/21	STAMPED
2	06/08/21	35% REVIEW
1	03/08/21	35% REVIEW

PROJECT INFORMATION

TITLE & ADDRESS:
**CLEVELAND
FOUNDATION HQ**

6800 CHESTER RD
CLEVELAND, OH 44115

RBI SOLAR PROJECT No:
2170016

DRAWN BY:
WCC

REVIEWED BY:
-

SHEET TITLE:
CANOPY SECTION

SHEET No.:
SC301

Public Hearing

Calendar No. 22-012:

**11500-11508 Lorain Ave.
Violation Notice**

Ward 11



Media, LLC., owner, appeals under the authority of Section 76-6 of the Charter of the City of Cleveland and Section 329.02(d) of the Cleveland Codified Ordinances from Notice of Violation Number V19034271 issued on October 7, 2019 by the Cleveland Department of Building and Housing for failure to comply with Section 327.02(c) of the Cleveland Codified Ordinances which states that there shall be no change, substitution or extension in the use of any building or premises until the required use permit and Certificate of Occupancy has been issued by the Division of Building and. (Filed November 12, 2019).



Public Hearing

Calendar No. 22-012:

**11500-11508 Lorain Ave.
Violation Notice**

Ward 11



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.**



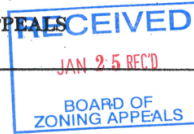
LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is appealing an administrative decision. The standard of review to be applied is whether the administrative decision was illegal, arbitrary, capricious, unreasonable or unsupported by the preponderance of substantial, reliable, and probative evidence. If the Appellant fails to meet this burden, the administrative decision must be affirmed





CITY OF CLEVELAND
BOARD OF BUILDING STANDARDS & BUILDING APPEALS



DO NOT WRITE IN THIS SPACE

DOCKET NO. _____

NOTICE OF THIS APPEAL HAS BEEN FURNISHED TO THE ADMINISTRATIVE OFFICIAL UPON
WHOSE DECISION THIS APPEAL IS BASED. YES _____ NO _____

APPEAL FROM ADMINISTRATIVE DECISION

DATE January 24, 2022

APPELLANT/OWNER OF RECORD Media, LLC

MAILING ADDRESS 730 Miner Road, Highland Heights, Ohio 44143
(street) (city) (state) (zip code)

AGENT/ATTORNEY Andrew M. Fowerbaugh

MAILING ADDRESS 20006 Detroit Rd., Suite 200, Rocky River, OH 44116
(street) (city) (state) (zip code)

HEARING NOTICE TO BE MAILED TO: Andrew M. Fowerbaugh, Stickney & Stickney, LLP
20006 Detroit Rd., Suite 200, Rocky River, OH 44116

Request is herewith made for hearing before the Board of Building Standards and Building Appeals for variance from
the determination of the,

☒ COMM. OF BLDG./HOUS. ☐ DIV. OF FIRE ☐ OTHER _____

LOCATION OF PREMISES 11500-11508 Lorain Avenue (44111)

NUMBER OF STORIES 2

OCCUPANCY CLASSIFICATION: RESIDENTIAL ☐ ASSEMBLY ☐ BUSINESS ☒
INDUSTRIAL ☐ OTHER _____

ATTACHED AND MADE A PART OF THIS APPEAL, THE FOLLOWING IS SUBMITTED:

1. Violation Notice.
2. Appeal Statement.
3. Drawings, Sketches or Photographs.
4. Letter from Owner Authorizing the Appeal.

SIGNATURE Andrew M. Fowerbaugh

PRINT NAME Andrew M. Fowerbaugh

TITLE Attorney for Owner

PHONE NO. (216) 241-0140

Email Address amf@stickneystickney.com

WHITE/RR&RA

YELLOW/BUILDING DEPARTMENT

BLUE/APPELLANT-OWNER OF RECORD

THE CITY OF CLEVELAND
DEPARTMENT OF BUILDING & HOUSING
DIVISION OF CODE ENFORCEMENT
601 LAKESIDE AVE. CLEVELAND, OH 44114

Rst

NOTICE OF VIOLATION OF BUILDING AND HOUSING ORDINANCES

WARD: 11

ISSUE DATE: 12/27/2021

ENSUS TRACT: 101400

PPN: 00509030

PROP. ADDRESS: 11502 Lorain Ave, Cleveland, OH
44111

AKA: 11502 LORAIN 11500-11508 LORAIN

RESPONSIBLE PARTY(S) _____

MEIDA, LLC
11500-11508 LORAIN AVE
CLEVELAND, OH 44111

MEIDA, LLC
11502 LORAIN AVE. CLEVELAND, OH. 44111

MEIDA, LLC
730 MINER RD. HIGHLAND HTS. OH. 44143

INTERESTED PARTY(S) _____

JIANYING HUA STAT. AGENT
730 MINER RD.
HIGHLAND HTS., OH 44143

OCCUP./USE:

INSPECTION DATE: 12/16/2021

KIND OF STRUCTURE: 1 Sty. Masonry

VIOLATION #: V21034439

ZONING DISTRICT: Local Retail Business

NUMBER OF DWELLING UNITS: 1

TYPE OF VIOLATION: Zoning

THIS NOTICE SHALL BE COMPLIED WITH AND ALL VIOLATIONS CORRECTED BY THE BELOW
LISTED "COMPLY DATE".

FAILURE TO COMPLY WITH THIS NOTICE WILL RESULT IN PROSECUTIVE ACTION OR PENALTY
AS PROVIDED BY LAW.

PLEASE CONTACT THE INSPECTOR UPON RECEIPT OF THIS NOTICE.

TO CONTACT YOUR INSPECTOR CALL MONDAY THRU FRIDAY.

INSPECTOR: MLADEN MEDANCIC PHONE: 664-2609

EMAIL:
mmedancic@city.cleveland.oh.us

Page 1 V21034439 - 11502 Lorain Ave, Cleveland, OH 44111

RIGHT TO APPEAL
You have the right to appeal this notice. If you wish to appeal, you must file a written appeal within 30 days of the issuance date on this notice. The appeal must be filed at:

SEQ NO	COMPLY DATE	NATURE OF VIOLATION	COMMENTS
1	01/26/2022	30 [327.02(B)ZONING]: NO BUILDING SHALL BE ERECTED, ALTERED OR ENLARGED UNTIL A PERMIT FOR SUCH ERECTION, ALTERATION OR ENLARGEMENT HAS BEEN ISSUED BY THE COMMISSIONER OF BUILDING	EXISTING MERCANTILE USE CHANGED TO TIRE STORAGE

Appeal by) APPEAL STATEMENT OF
) MEIDA, LLC
MEIDA, LLC)
730 Miner Road)
Highland Heights, Ohio 44143)
)
Of)
)
CITY OF CLEVELAND, DIVISION OF)
CODE ENFORCEMENT, NOTICE OF)
VIOLATION # V21034439)
DATED 12/27/2021)

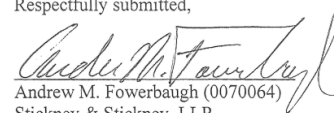
As the basis for its appeal Meida, LLC, says that it holds title to premises at 11508 Lorain Avenue, Cleveland, Ohio. Meida, LLC, has leased the premises at 11508 Lorain Avenue, Cleveland, to Suleiman Abdulrahman Mohamed since December 1, 2020. The written lease is for commercial purposes only. Pursuant to this lease, the tenant is obliged to follow all laws and ordinances. The lease places the obligation upon the tenant to seek all necessary licenses and permits for the performance of its commercial activities and use or modification of the premises.

INSPECTOR: MLADEN MEDANCIC PHONE: 664-2609 EMAIL:
mmedancic@city.cleveland.oh.us

Meida, LLC, has forwarded a copy of the Notice of Violation to the tenant, but as of this time, the tenant retains the exclusive right of possession to the premises.

Meida, LLC, is in the process of pursuing compliance from the tenant regarding the Notice of Violation. As of this appeal statement, Meida, LLC, has served a Notice of Default upon the tenant, as required under the written lease. Pursuant to the lease, the tenant is provided with 30 days to remedy any violations. If after this time the tenant has not remedied the violations to the satisfaction of both the City of Cleveland Department of Building & Housing as well as Meida, LLC, Meida, LLC will pursue recovery of the premises by posting a Notice to Vacate and pursuing any forcible entry and detainer proceedings needed. Until such time as Meida, LLC has fulfilled the requirements of the lease terms and acquired an order of restitution for the premises, it is viewed as a trespasser to the premises under the law, and cannot enter thereon to remedy any violations.

Respectfully submitted,



Andrew M. Fowerbaugh (0070064)
Stickney & Stickney, LLP
20006 Detroit Road, Suite 200
Rocky River, Ohio 44116
Phone (216) 241-0140
Fax (216) 930-4355
Email amf@stickneystickey.com

Attorney for Meida, LLC

MEIDA, LLC
730 Miner Road
Highland Heights, Ohio 44143

January 24, 2022

City of Cleveland
Board of Building Standards
& Building Appeals
Cleveland City Hall
601 Lakeside Avenue, Room 516
Cleveland, Ohio 44114

RE: Owner's Authorization of Appeal

Dear Sir or Madam,

I am an authorized member of Meida, LLC and pursuant to its operating agreement, I am authorized to represent and to delegate such authority. Meida, LLC, is the title holder of land at 11508 Lorain Avenue, Cleveland, Ohio.

By this letter, I authorize the attorneys of Stickney & Stickney, LLP, particularly Andrew M. Fowerbaugh, to represent Meida, LLC and appeal the notice of violation of building and housing ordinances identified as violation # V21034439 and dated 12/27/2021. This authorization shall include appeals to all boards and agencies of the City of Cleveland, as well as representation before the Cleveland Municipal Court Housing Division.

Very truly yours,

For Meida, LLC



Public Hearing

Calendar No. 22-013:

1327 W. 102 Street

Ward 15

Rising Time Investment LLC, owner, proposes to establish use as three family residence in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 337.03(a) which states that a three-family dwelling is not permitted in a Two-Family Residential district but is first allowed the Multi-Family district.
2. Section 355.04(b) which states that in a "B" Area District a minimum lot area of 2,400 square feet per dwelling unit is required or in this case 7,200 square feet foot are required and the existing lot is 5,200 square feet.
3. Section 349.04 which states that three parking spaces are required, and no parking spaces are provided.
4. Section 349.07(a) which states that all parking spaces and maneuvering area shall be paved, drained and graded within parking area. (Filed January 27, 2022)



Public Hearing

Calendar No. 22-013:

1327 W. 102 Street

Ward 15



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting a use variance and area variances from the minimum lot size and off street parking regulations of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.



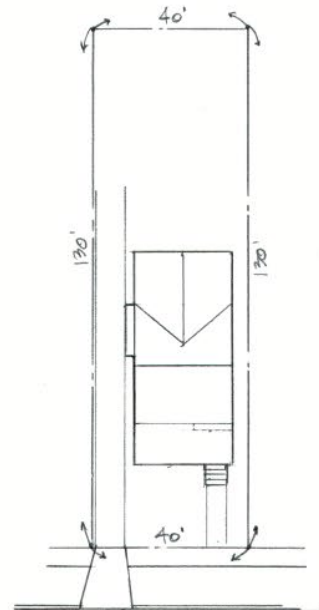


Ave

10 Feet



We



WEST 102ND STREET

PLOT PLAN
SCALE 1"=20'-0"



GENERAL REQUIREMENTS

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
2. OBTAIN ALL PERMITS.
3. HAUL AWAY ALL DEBRIS.
4. ALL NEW WORK TO MEET THE RESIDENTIAL CODE OF OHIO.
5. ALL NEW PLUMBING FIXTURES TO BE CONNECTED TO EXISTING WASTE, VENTING AND HOT AND COLD WATER LINES.
6. 90% EFFICIENT FURNACE FOR FIRST AND SECOND FLOORS. THIRD FLOOR TO RECEIVE BASEBOARD HEATERS.
7. ALL ELECTRICAL WORK TO MEET THE NATIONAL ELECTRICAL CODE.
8. ALL GUTTERS TO BE CONNECTED TO EXISTING STORM.
9. THIS HOUSE HAS BEEN A THREE FAMILY HOME AND HAS THREE GAS SERVICES AND THREE ELECTRICAL SERVICES.
10. THESE SEPARATE WATER HEATERS ARE LOCATED IN THE BASEMENT TO SUPPLY THE THREE TENANTS.
11. EACH TENANT HAS TWO MEANS OF EGRESS.
12. THE HOUSE HAS RECENTLY BEEN PAINTED. OWNER TO HAVE OPTION TO VINYL SIDING THE HOUSE. IF VINYL SIDING IS USED, CONTRACTOR TO FOLLOW MANUFACTURER'S SPECIFICATIONS.
13. ANY NEW FRAMING LUMBER TO BE FIRST QUALITY NO 2 OR BETTER, HE MLOCK, FIR OR YELLOW PINE.
14. SCOPE OF WORK: THIS IS AN EXISTING 3 FAMILY HOUSE. THE OWNER IS INSTALLING NEW CABINETS, KITCHEN AND BATHROOM FIXTURES IN THE SAME LOCATION AS EXISTING. HE IS ALSO INSTALLING NEW ELECTRICAL PANELS AND NEW PURCHASERS USING EXISTING DUCT WORK. THE HOUSE HAS 3 EXISTING GAS & ELECTRICAL SERVICES.



REVISIONS	BY

HOUSE RENOVATION
RISING TIME INVESTMENTS, LLC
1327 WEST 102ND STREET
CLEVELAND, OHIO

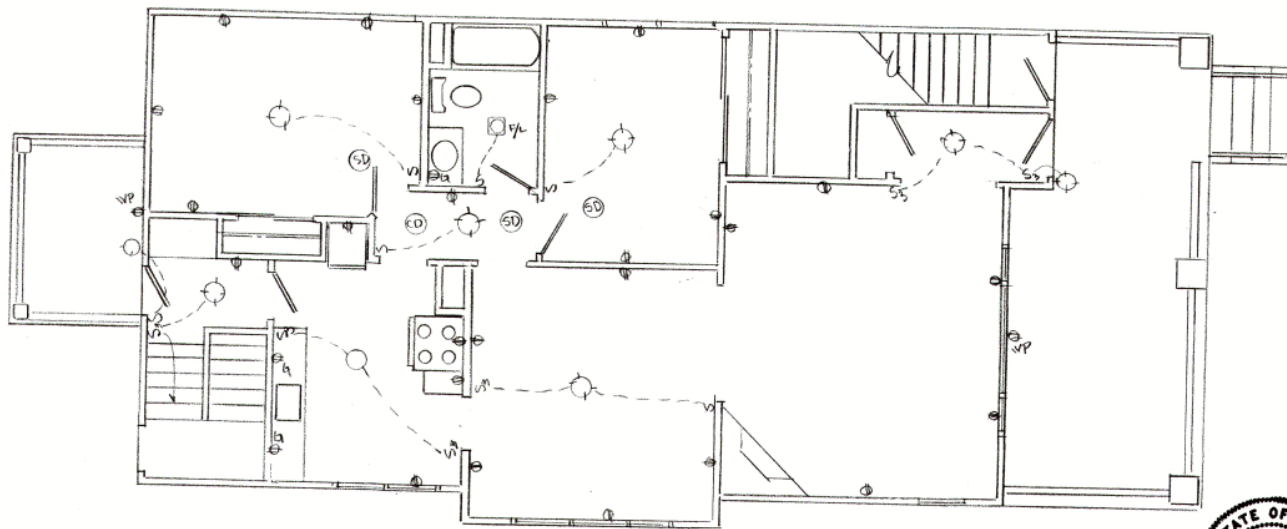
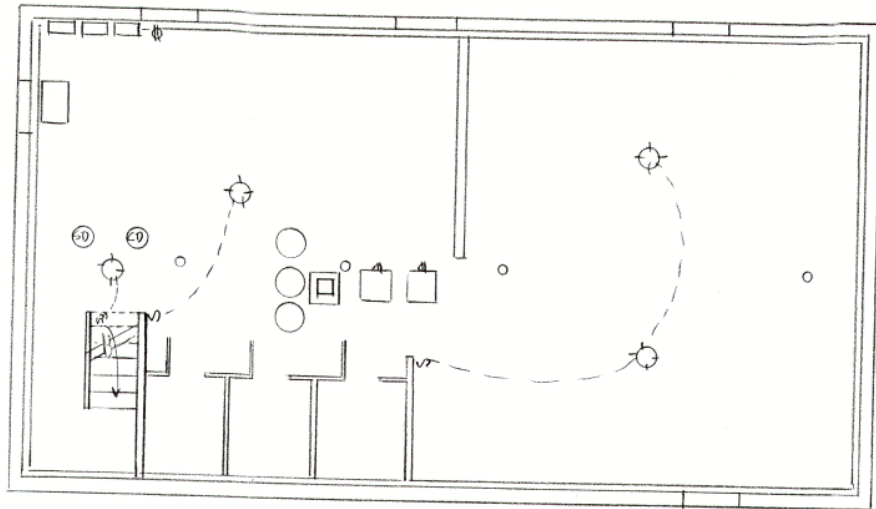
ELI MAHLER - ASSOCIATES
ARCHITECTS & PLANNERS

3947 WEST ASH LANE
TEL. (216) 831-3947
CLEVELAND, OHIO 44122

DRAWN
CHECKED
DATE DECEMBER 30, 2021
SCALE
JOB NO.
SHEET A'1
OF SHEETS



DRAWN
CHECKED
DATE DECEMBER 30, 2021
SCALE
JOB NO.
SHEET A-3
OF SHEETS

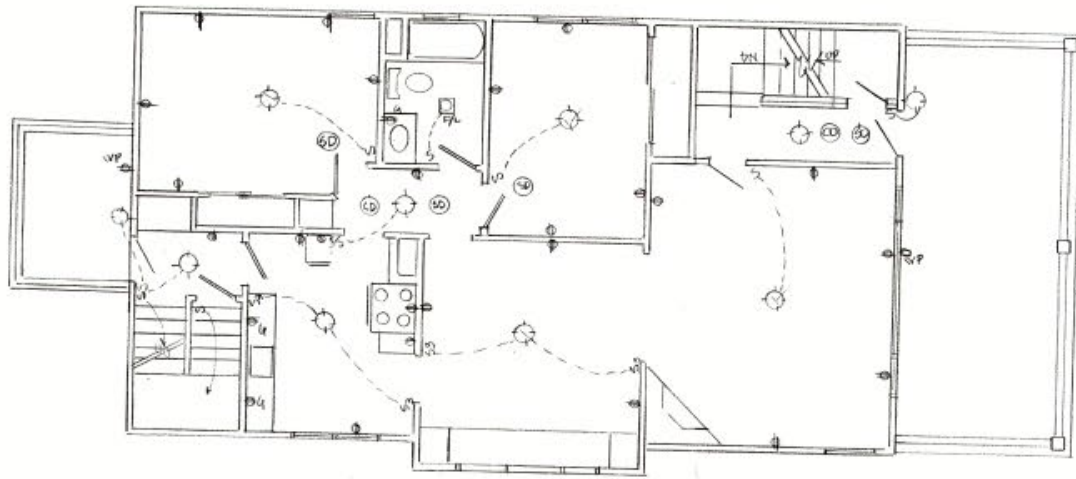
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HOUSE RENOVATION
RISING TIME INVESTMENTS, LLC
11327 WEST 10240 STREET
CLEVELAND, OHIO

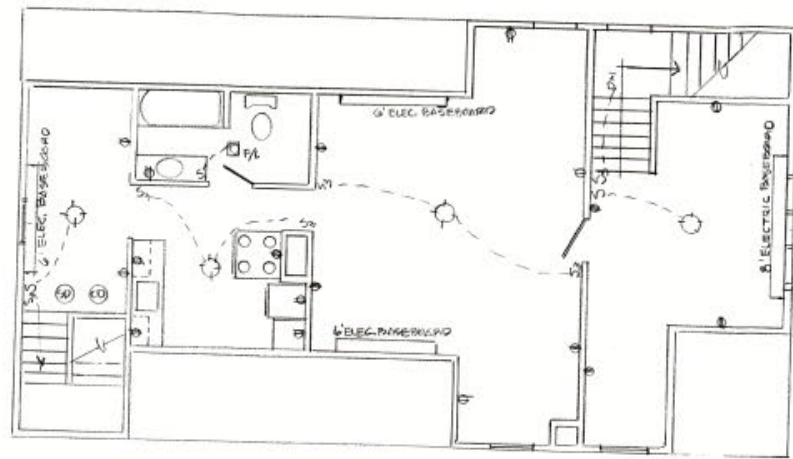
ELI MAHLER - ASSOCIATES
ARCHITECTS & PLANNERS

3947 WEST ASH LANE
TEL. (216) 831-3947
CLEVELAND, OHIO 44122

DRAWN
CHECKED
DATE DECEMBER 10, 1971
SCALE
JOB NO.
SHEET
A-4
OF
SHEETS



SECOND FLOOR ELECTRICAL PLAN - LIGHTING & POWER
SCALE 1/4" = 1'-0"



THIRD FLOOR ELECTRICAL PLAN - LIGHTING & POWER
SCALE 1/4" = 1'-0"

ELI MAHLER - ASSOCIATES
ARCHITECTS & PLANNERS

3847 WEST ASH LANE
TEL. (216) 631-3847
CLEVELAND, OHIO 44132

HOUSE RENOVATION
RISING TIME INVESTMENTS, LLC
1387 WEST 62 STREET
CLEVELAND, OHIO

DRAWN

CHECKED

DATE
DECEMBER 31, 2021

SCALE

JOB NO.

SHEET

A-5

OF SHEETS

REVISIONS

BY

CALCULATION ELECTRIC SERVICE - FIRST AND SECOND FLOOR TENANTS

GENERAL	LIGHTING/OUTLET	1056 SQFT X 3W =	3168 WATTS
	SMALL APPLIANCES	5 X 1500 WATTS =	7500 WATTS
FIXED APPLIANCE			
	1 REFRIGERATOR	=	1500 WATTS
	1 DISHWASHER	=	1000 WATTS
	1 DISPOSAL	=	900 WATTS
	TOTAL GENERAL	=	14068 WATTS
HEATING & A.C.	CONDENSOR	=	5730 WATTS
	FURNACE	=	1700 WATTS
	TOTAL CONNECTED	=	61073 WATTS
FACTORED LOADS (NEC 210.70)			
	1ST 10KV @ 100%	=	10,000 WATTS
	REMAINDER @ 40%	=	4439 WATTS
AIR CONDITIONING	@ 100%	=	5730 WATTS
	TOTAL	=	20169 WATTS
	DIVIDED BY 240 VOLTS	=	84.04 AMPS
MINIMUM SERVICE (EACH 1ST & 2ND FLOOR TENANT) 100 AMPS			

CALCULATION ELECTRIC SERVICE - THIRD FLOOR TENANT

GENERAL	LIGHTING/OUTLET	1150 SQFT X 3W =	3450 WATTS
	SMALL APPLIANCES	4 X 1500 WATTS =	6000 WATTS
FIXED APPLIANCE			
	1 REFRIGERATOR	=	1500 WATTS
	1 DISPOSAL	=	900 WATTS
	TOTAL	=	10650 WATTS
HEATING	ELECTRIC BASEBOARD		
	8 FT 1 REQUIRED	=	2400 WATTS
	6 FT 3 REQUIRED @ 1000	=	6000 WATTS
	TOTAL CONNECTED	=	19050 WATTS
FACTORED LOADS (NEC 210.70)			
	FIRST 10KV @ 100%	=	10,000 WATTS
	REMAINDER @ 40%	=	3620 WATTS
HEATING	ELECTRIC BASEBOARD HEATING	=	8480 WATTS
	TOTAL	=	22020 WATTS
	DIVIDED BY 240 VOLTS	=	91.75 AMPS
MINIMUM SERVICE 100 AMP			



REVISIONS	BY

ELI MAHLER - ASSOCIATES
ARCHITECTS & PLANNERS

HOUSE RENOVATION
BUSINESS TIME INVESTMENTS, LLC
1327 WEST 102 STREET
CLEVELAND, OHIO

3947 WEST ASH LANE
TEL. (216) 831-3647
CLEVELAND, OHIO 44122

DRAWN
CHECKED
DATE DECEMBER 7, 2021
SCALE
JOB NO.
SHEET
A-6
OF SHEETS

From: jayblue303@aol.com <jayblue303@aol.com>
Sent: Wednesday, February 23, 2022 10:34 AM
To: Kukla, Elizabeth <Ekukla@clevelandohio.gov>
Subject: Zoning Variance Appeals Calendar No.22-013 1327 W. 102 Street.

Feb. 2, 2022

Good morning
Elizabeth Kukla
Jenny Spencer Ward 15

I have received a Board of Zoning Appeals letter stating that the address 1327 W. 1327 Street is requesting proposed "to establish use of as three family residence in a B1 Two-Family Residential District".

I property owner am AGAINST this.

Gary Drescher 1314 W. 102 Street Cleveland, Ohio 44102

Parking/Traffic is one reason, not adequate

Too many renters in the area that don't care about their property outside and the landlords do not take care of the properties once rented.

I am considering the quality of home life in the neighborhood, we have enough constant moving of people in and out all year. I do not want this neighborhood to become a cash cow for someone not living here.

Is there safety exits also for these renters to get out in case of a fire? Just wondered

Again, I do not wish this to become a three family residence.

Sincerely
Gary Drescher
216-210-2442

Public Hearing

Calendar No. 22-014:

1250 Riverbed Street

Ward 3

1250 Riverbed Street LLC, owners, propose to establish use as 70-unit apartment building located within a K5 Limited Retail Business District and Urban Form Overlay District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 348.04(d)(4)(A) which states that accessory off-street parking spaces are required at the rate of twenty-five percent of the standard amount required in Section 349.04 of the zoning code. 18 spaces are required, and no parking spaces are proposed.
2. Section 341.02 which states that approval of the City Planning Commission/Department is required (Filed January 28, 2022)



Public Hearing

Calendar No. 22-014:

1250 Riverbed Street

Ward 3



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY



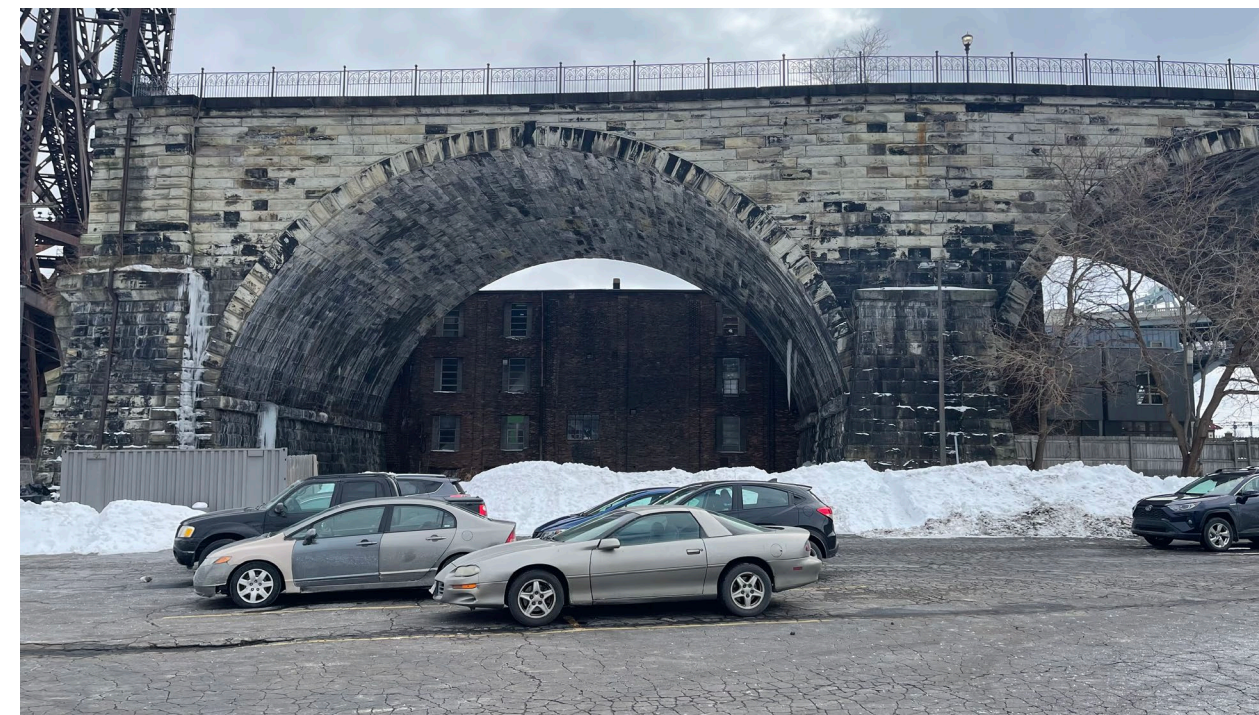


LEGAL STANDARD

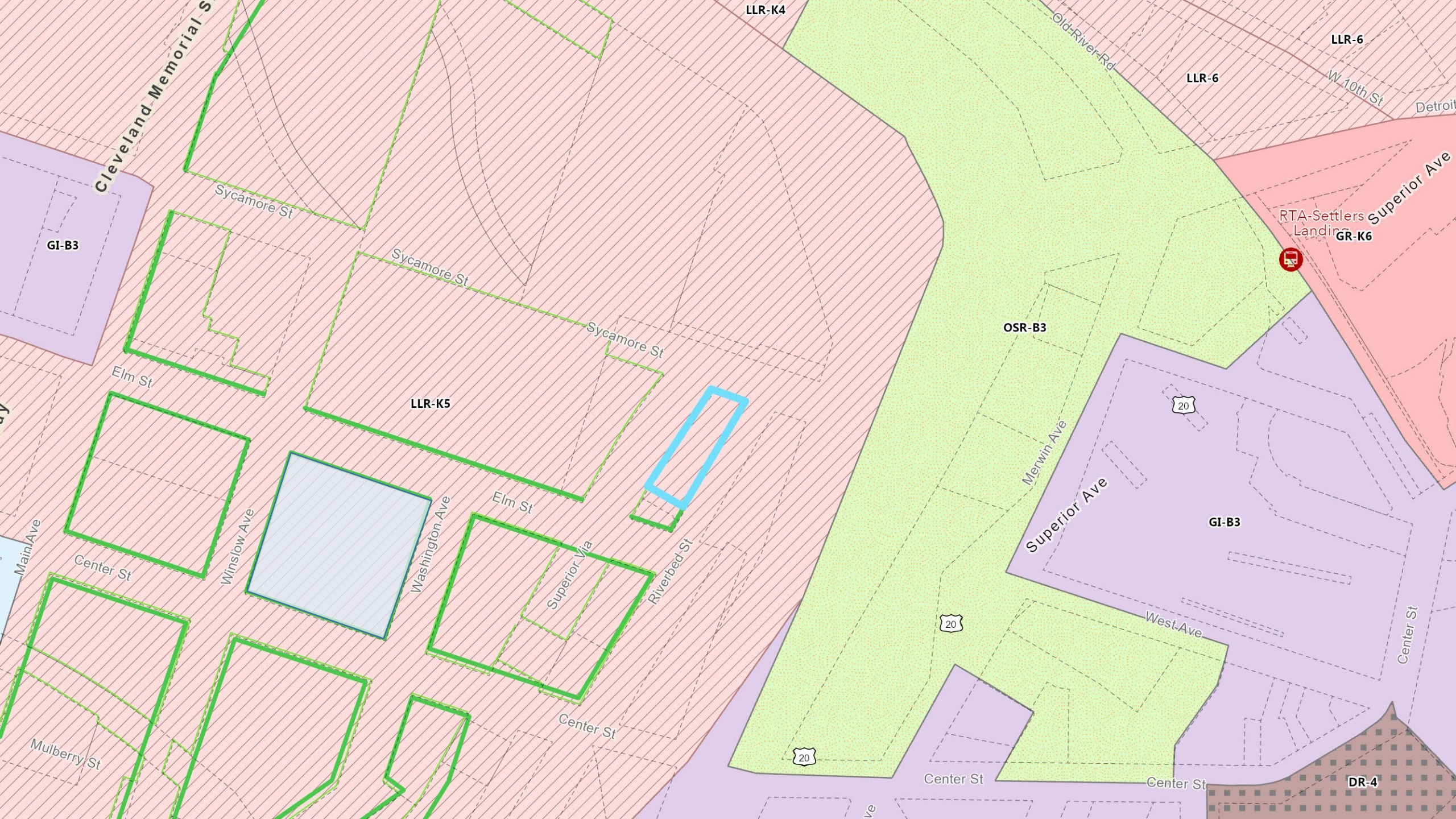
Madam Chair, Members of the Board, Appellant is requesting an area variance from the off-street parking regulations of the zoning code.

To obtain the area variance, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.







ALTANSPS LAND TITLE SURVEY

1250 RIVERBED STREET LLC, A NEW YORK LIMITED LIABILITY COMPANY,
APT DEVELOPMENT GROUP, LLC, AN OHIO LIMITED LIABILITY COMPANY AND CHICAGO TITLE INSURANCE COMPANY

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND STATE OF OHIO: AND KNOWN AS BEING PART OF SUBLOT NOS. 388, 389, 390, 391, 392, 393, 394 AND AN UNNUMBERED LOT LYING NEXT NORTHERLY OF SUBLOT NO. 388 IN BLOCK P IN THE BUFFALO COMPANY'S ALLOTMENT OF PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NOS. 51 AND 70, AS SHOWN BY THE RECORDED PLAT IN VOLUME 3 OF MAPS, PAGE 51 OF CUYAHOGA COUNTY RECORDS, AND PART OF RIVERBED STREET, N.W., (FORMERLY RIVER STREET), NOW VACATED AND TOGETHER FORMING A PARCEL OF LAND BOUNDED AND DESCRIBED AS FOLLOWS:



08.10.2021 ZONING ONLY



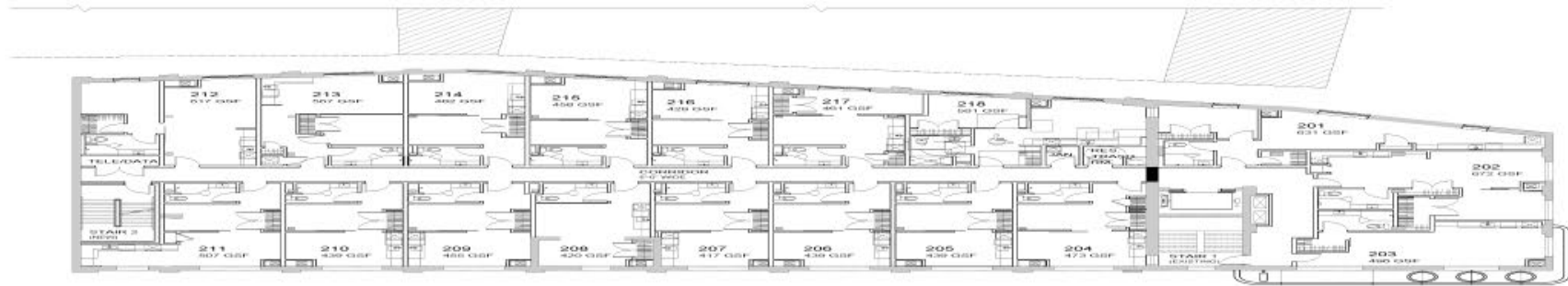
SCALE: $1/8" = 1'-0"$



A horizontal scale bar with tick marks at 0, 2, 4, 8, and 16 feet. The text '0 2 4 8 16' is placed below the bar.

A 1.11





1
210 TYPICAL PLAN, FLOORS 2-4
10/18/2019

RDL
ARCHITECTS
2000 AVENUE 100, SUITE 200
DALLAS, TEXAS 75201-1141
P: 214.760.0000
F: 214.760.0000
WWW.RDLARCHITECTS.COM

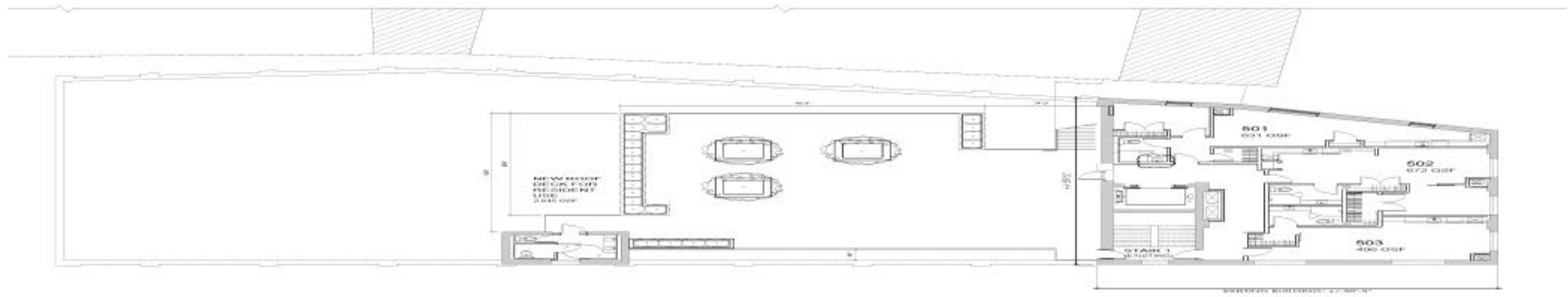
APT
ART DEVELOPMENT
THINKING OUT
WWW.APTDESIGNGROUP.COM

311 312 313 314 315 316 317 318
FLOOR PLAN

1. THE ARCHITECT HAS PREPARED THESE PLANS FOR THE PROJECT DESCRIBED HEREIN AND FOR THE PURPOSES SPECIFIED HEREIN. THE ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION OR SURVEY OF THE SITE OR THE EXISTING CONDITIONS OF THE PROJECT. THE ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION OR SURVEY OF THE PROJECT OR THE EXISTING CONDITIONS OF THE PROJECT. THE ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION OR SURVEY OF THE PROJECT OR THE EXISTING CONDITIONS OF THE PROJECT.

ISSUE
REVISIONS
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3. 10/18/2019
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6. 10/18/2019
7. 10/18/2019
8. 10/18/2019
9. 10/18/2019
10. 10/18/2019

FLOORS 2-4
TYPICAL PLAN
SCALE: 1/8" = 1'-0"
PROJECT: 10/18/2019
DRAWN BY: J. J. J.
CHECKED BY: J. J. J.
FILE NAME: 10/18/2019
PLN 001
DATE: 10/18/2019
BY: J. J. J.
A 1.12



1
5TH FLOOR PLAN
10/07/18-1/19

RDL
ARCHITECTS
10000 PARKWAY BLVD. SUITE 100
DALLAS, TEXAS 75244-1111
P: 214.730.1000
F: 214.730.1001
WWW.RDLARCHITECTS.COM

APT-5
ART DEVELOPMENT
10000 PARKWAY BLVD. SUITE 100
DALLAS, TEXAS 75244-1111
P: 214.730.1000
F: 214.730.1001
WWW.APT-5.COM

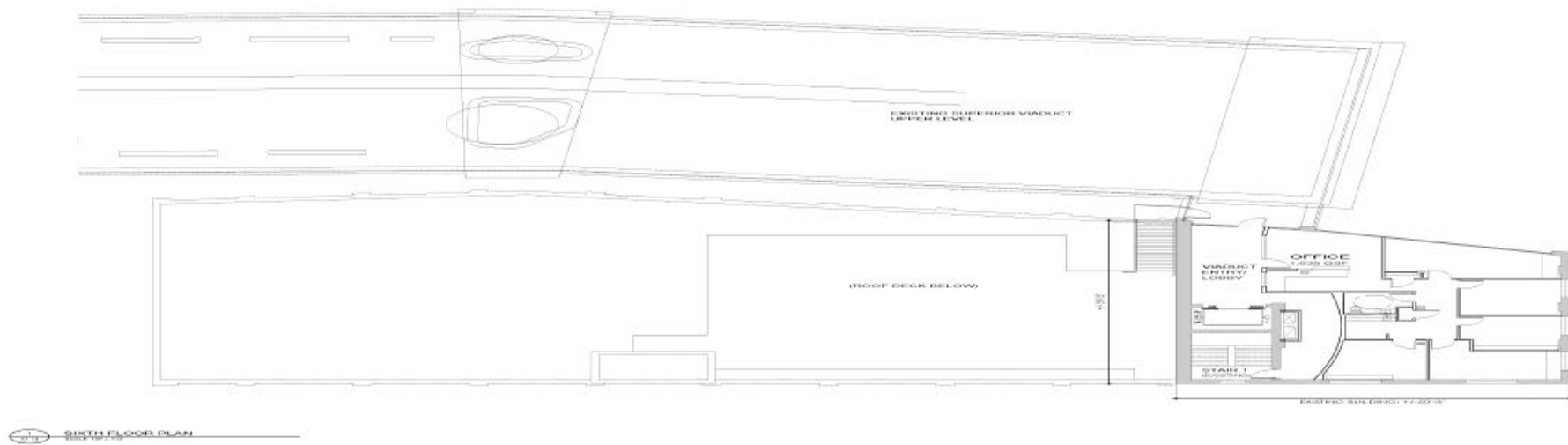
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FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
1" = 8'-0"
PROJECT: 10000 PARKWAY BLVD. SUITE 100
DALLAS, TEXAS 75244-1111
P: 214.730.1000
F: 214.730.1001
WWW.RDLARCHITECTS.COM

A 1.13



1
SIXTH FLOOR PLAN
2007-10-23

RDL
ARCHITECTS
1000 PLYMOUTH BLVD. SUITE 200
BOSTON, MASSACHUSETTS 02118
TEL: 617.452.2000
WWW.RDLARCHITECTS.COM

ART
DEVELOPMENT
1000 PLYMOUTH BLVD. SUITE 200
BOSTON, MASSACHUSETTS 02118
TEL: 617.452.2000
WWW.ARTDEVELOPMENT.COM

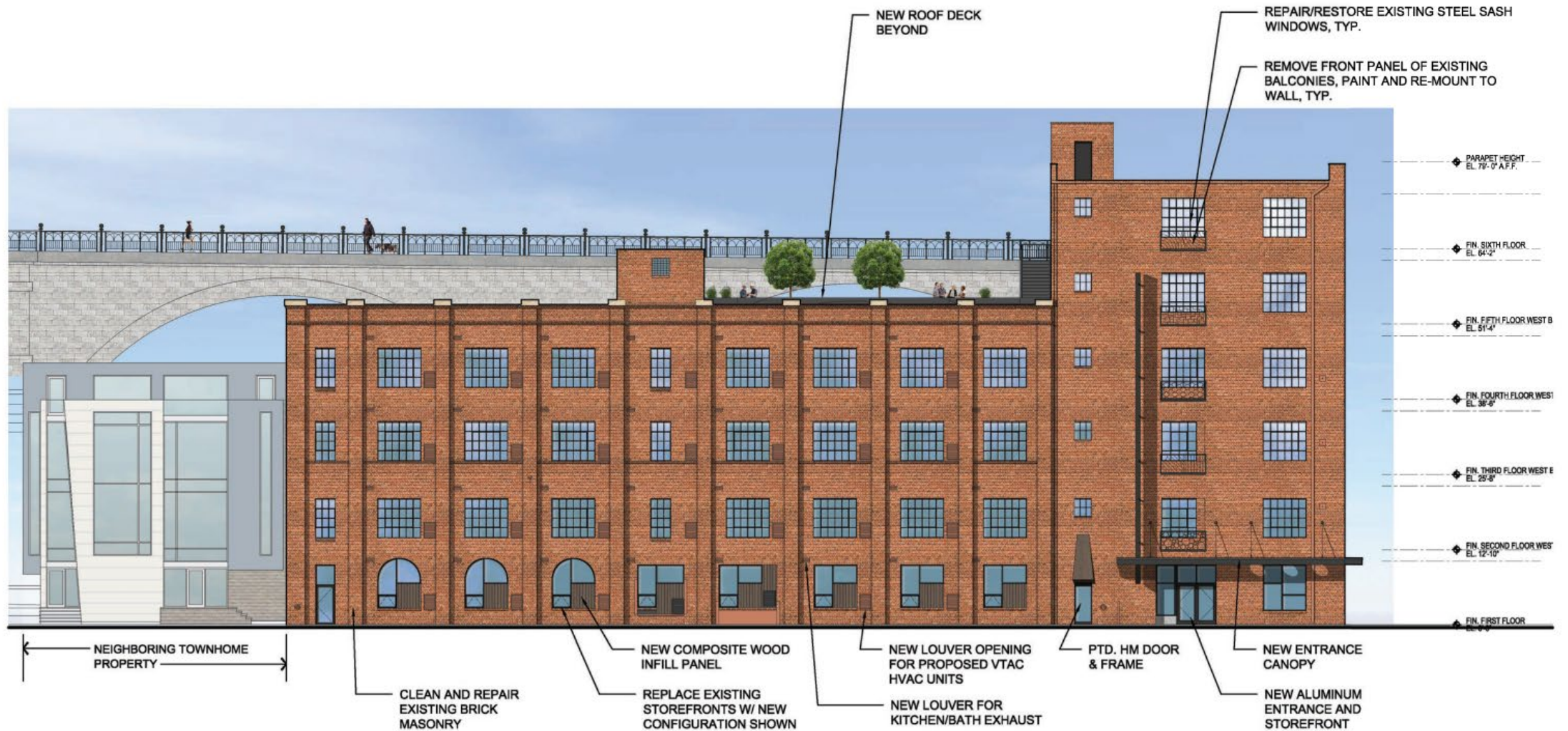
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1. THE PROJECT IS THE
RENOVATION AND
REDEVELOPMENT OF THE
EXISTING SUPERIOR
VIADUCT UPPER LEVEL
AND THE ROOF DECK
BELOW. THE PROJECT
WILL BE A MIXED-USE
DEVELOPMENT THAT
WILL INCLUDE OFFICE
SPACE, RETAIL SPACE,
RESTAURANTS, AND
RESIDENTIAL SPACE.
THE PROJECT WILL BE
DESIGNED TO BE
ENVIRONMENTALLY
SUSTAINABLE AND
TO PROVIDE A HIGH
QUALITY OF LIFE FOR
THE COMMUNITY.

ISSUE
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SIXTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
1" = 12'-0"
PROJECT NO. 06-001
DATE: 10/23/07
DRAWN BY: J. R. RDL
CHECKED BY: J. R. RDL
APPROVED BY: J. R. RDL
PROJECT NO. 06-001
DATE: 10/23/07
DRAWN BY: J. R. RDL
CHECKED BY: J. R. RDL
APPROVED BY: J. R. RDL
PROJECT NO. 06-001
DATE: 10/23/07
DRAWN BY: J. R. RDL
CHECKED BY: J. R. RDL
APPROVED BY: J. R. RDL

A 1.14



A2.11 EAST ELEVATION - RIVERBED STREET - PROPOSED RENOVATIONS

RDL
ARCHITECTS

RDL ARCHITECTS
16102 Chagrin Blvd. Suite 200
Shaker Heights, Ohio 44120
T: 216-752-4300 F: 216-752-4301
www.rdlarchitects.com

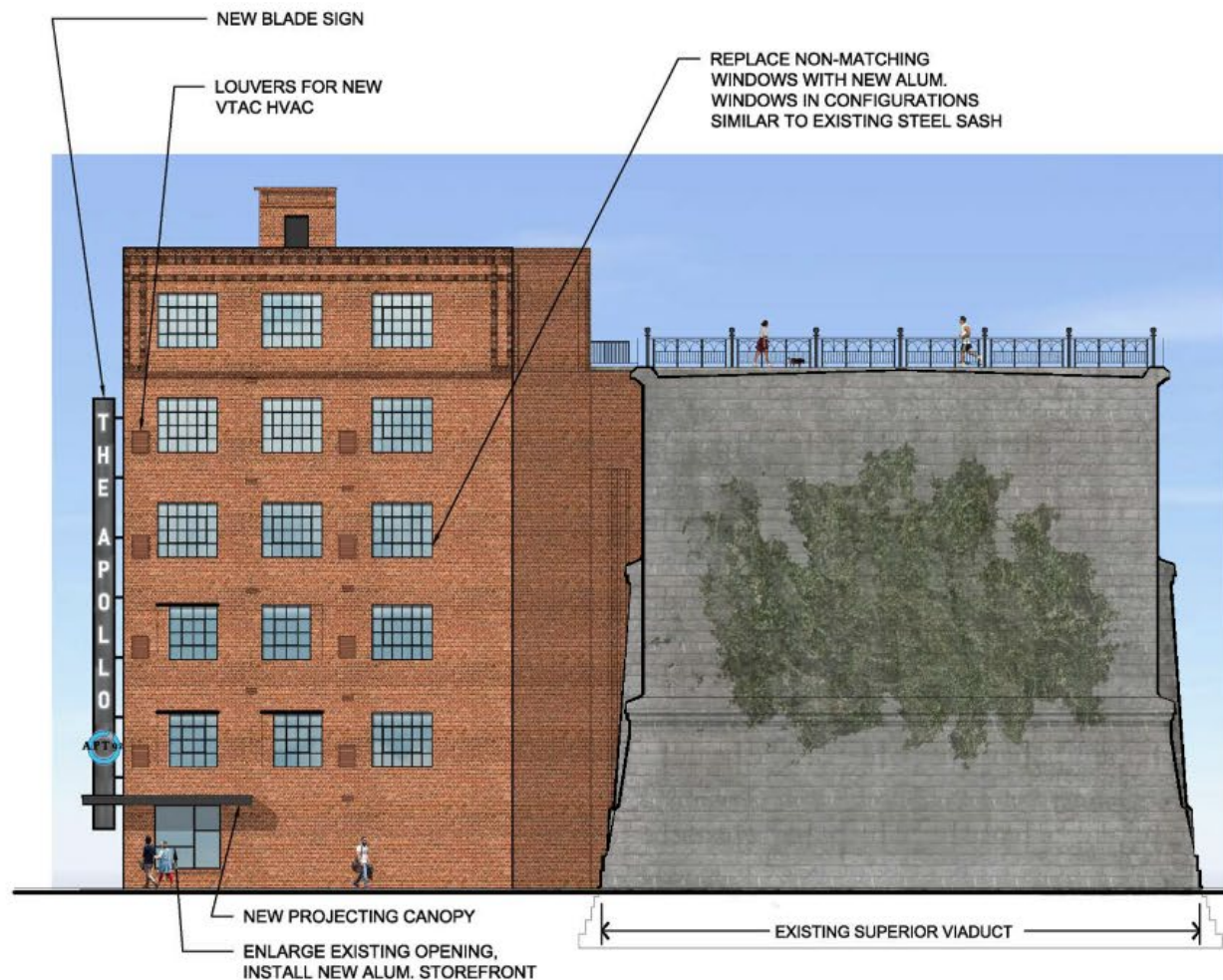
APOLLO APARTMENTS
1250 RIVERBED STREET
CLEVELAND, OHIO

SCALE: 1" = 16'

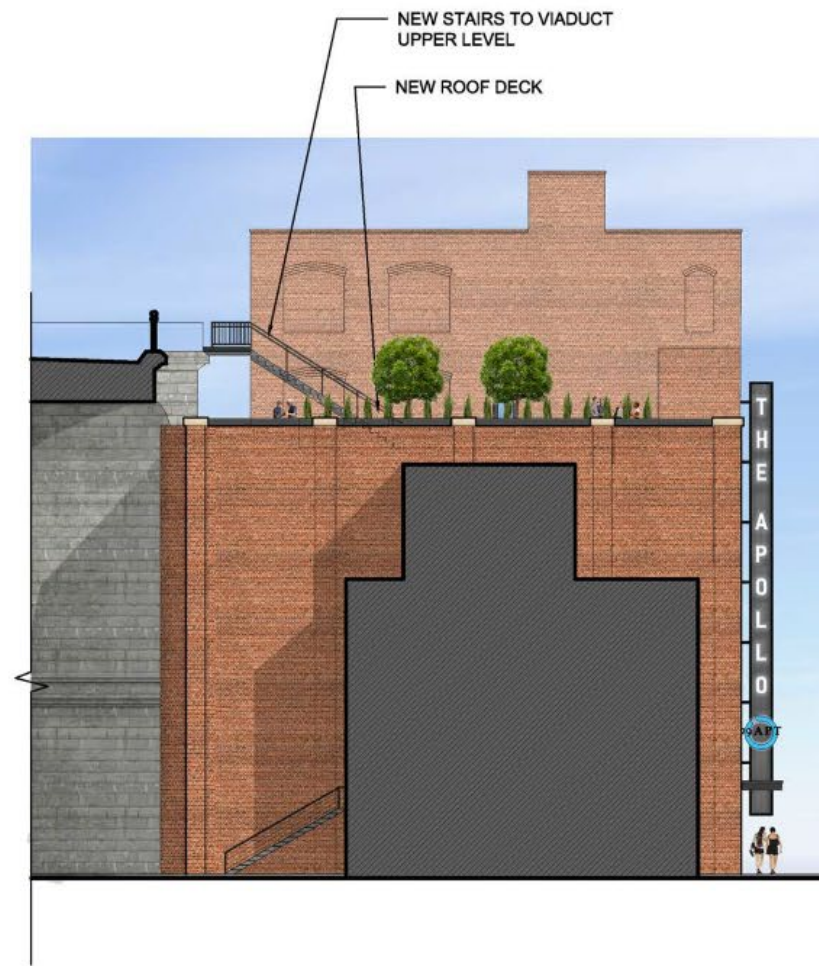
July 8, 2021 rda: #21028 COPYRIGHT © 2021

APT 92
The Apollo

APT DEVELOPMENT GROUP
CLEVELAND, OHIO
www.aptddevelopmentgroup.org



NORTH ELEVATION



SOUTH ELEVATION

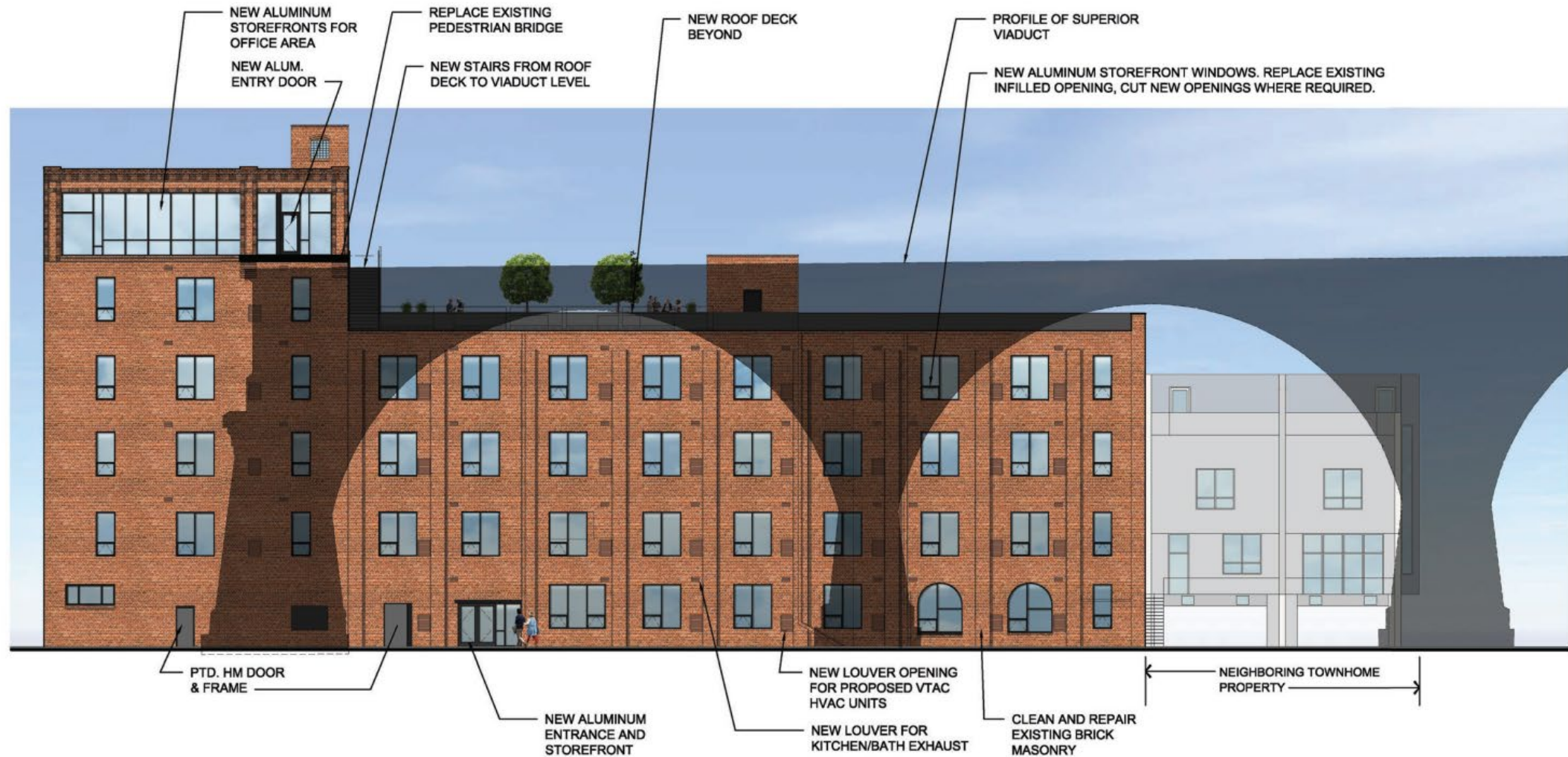
A2.31 NORTH AND SOUTH ELEVATIONS - PROPOSED RENOVATIONS

RDL
ARCHITECTS

RDL ARCHITECTS
16102 Chagrin Blvd. Suite 200
Shaker Heights, Ohio 44120
T: 216-752-4300 F: 216-752-4301
www.rdlarchitects.com

APOLLO APARTMENTS
1250 RIVERBED STREET
CLEVELAND, OHIO

SCALE: 1" = 16'
0 4 8 16'
July 6, 2021
rdla: #21028 COPYRIGHT © 2021
APT 92
The Apollo
APT DEVELOPMENT GROUP
CLEVELAND, OHIO
www.aptddevelopmentgroup.com



A2.21 WEST ELEVATION - PROPOSED RENOVATIONS

RDL
ARCHITECTS

RDL ARCHITECTS
16102 Chagrin Blvd. Suite 200
Shaker Heights, Ohio 44120
T: 216-752-4300 F: 216-752-4301
www.rdlarchitects.com

APOLLO APARTMENTS
1250 RIVERBED STREET
CLEVELAND, OHIO

SCALE: 1" = 16'
0 4 8 16'
July 8, 2021 rda: #21028 COPYRIGHT © 2021
APT 92
The Apollo
APT DEVELOPMENT GROUP
CLEVELAND, OHIO
www.aptddevelopmentgroupinc.org



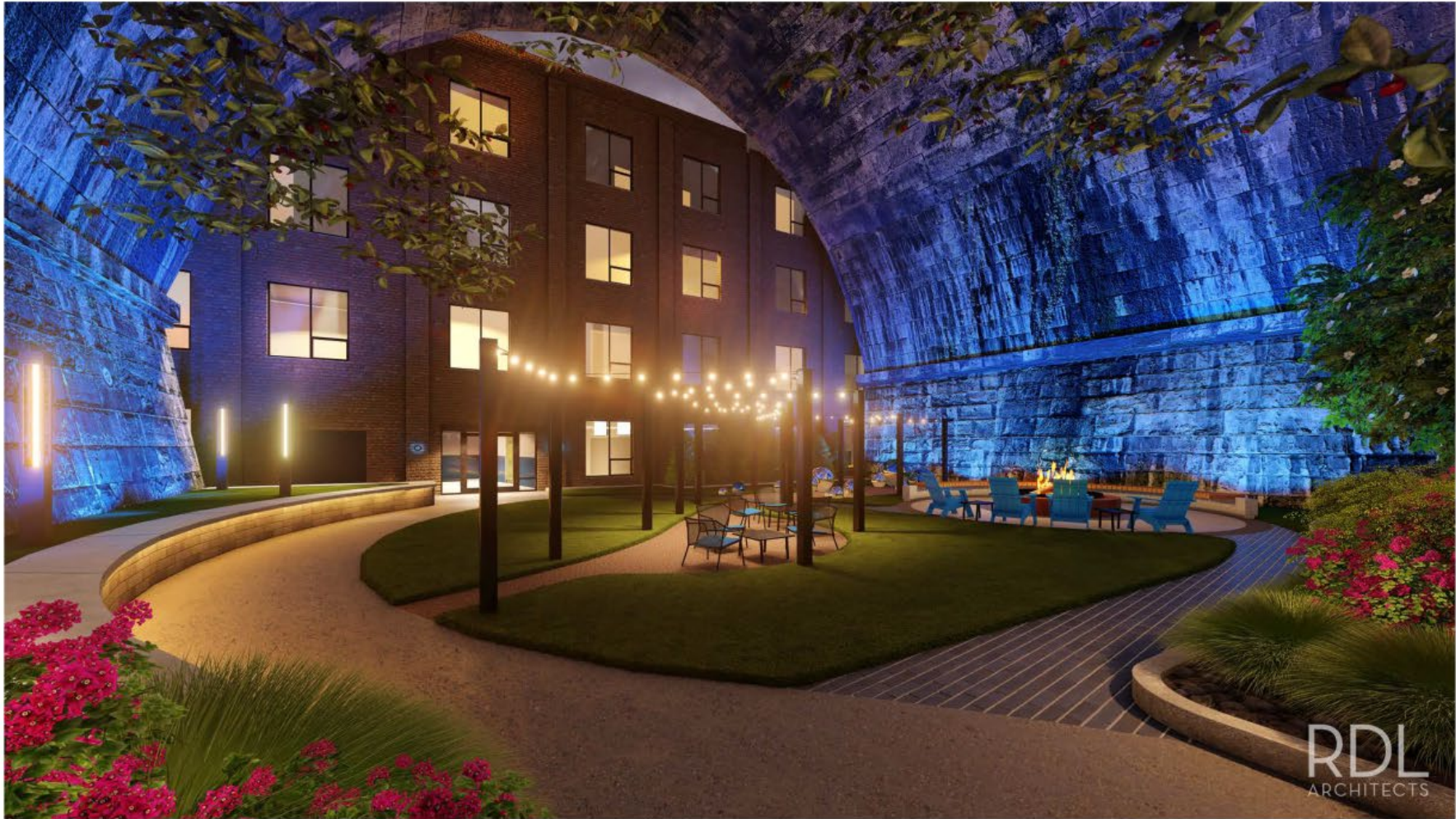
VIADUCT COURTYARD VIEW 1



RDL ARCHITECTS
16102 Chagrin Blvd. Suite 200
Shaker Heights, Ohio 44120
T: 216-752-4300 F: 216-752-4301
www.rdlarchitects.com

APOLLO APARTMENTS
1250 RIVERBED STREET
CLEVELAND, OHIO





VIADUCT COURTYARD VIEW 2

RDL
ARCHITECTS

RDL ARCHITECTS
16102 Chagrin Blvd. Suite 200
Shaker Heights, Ohio 44120
T: 216-752-4300 F: 216-752-4301
www.rdlarchitects.com

APOLLO APARTMENTS
1250 RIVERBED STREET
CLEVELAND, OHIO

SCALE: 1" = 16'
0 4 8 16'
July 8, 2021 rdl#: #21028 COPYRIGHT © 2021
APT 92
The Apollo
APT DEVELOPMENT GROUP
CLEVELAND, OHIO
www.aptdvelopmentgroupinc.org



ROOFTOP DECK

RDL
ARCHITECTS

RDL ARCHITECTS
16102 Chagrin Blvd. Suite 200
Shaker Heights, Ohio 44120
T: 216-752-4300 F: 216-752-4301
www.rdlarchitects.com

APOLLO APARTMENTS
1250 RIVERBED STREET
CLEVELAND, OHIO

SCALE: 1" = 16'
0 4' 8' 16'

July 8, 2021 rdl#: #21028 COPYRIGHT © 2021
APT 92
The Apollo
APT DEVELOPMENT GROUP
CLEVELAND, OHIO
www.aptdvelopmentgroupinc.org

For Execution

LICENSE AGREEMENT

This **LICENSE AGREEMENT ("Agreement")** is made this 17th day of November 2021 by and between NAUTICA ENTERTAINMENT, LLC., as owner of a certain parking lot at the Nautica Entertainment Complex ("Nautica") hereinafter designated as the "Licensor", and Apartment 92 The Apollo LLC ("Apollo") doing business in a building adjacent to Nautica (as defined below), hereinafter designated as the "Licensee".

RECITALS

WHEREAS Licensor owns and operates a parking lot at the Nautica Entertainment Complex ("Nautica") on the west bank of the Flats in Cleveland, Ohio referred to herein as the Designated Parking Area and outlined on the map attached as EXHIBIT A, and

WHEREAS Licensee is developing a 70-micro-unit housing project in the Left Bank Building located at 1250 Riverbed Street, Cleveland, Ohio 44113 ("Project"), and desires to arrange for tenants in the Project to park vehicles in the Designated Parking Area as provided herein and Licensor intends to grant them the right to do so.

AGREEMENT

(1) **Designated Parking Area.** The Licensor, in consideration of the license fee to be paid and the covenants and agreements to be performed by the Licensee, grants to Licensee, the non-exclusive right to permit tenants in the Project ("Qualified Tenants") to park vehicles ("Tenant Vehicles") in up to thirty (30) parking spaces in the Designated Parking Area for such purpose and subject to availability as outlined herein. If Licensee needs more than thirty (30) spaces for Vehicles, the parties agree in good faith negotiate the location of such additional evening only parking in The Designated parking Area on mutually acceptable terms.

(2) **Term.** The Term of this License Agreement is five (5) years commencing on the 1st day of January 2022. Such Term may be extended annually by the Licensee for ten (10) additional one-year periods expiring December 31, 2036. Licensee must provide 30 day written notice of cancellation of Agreement. Upon written notice, Licensee will only be responsible to pay for the months the Designated Parking Area was used by Tenant Vehicles.

(4) **License Fee.** Licensee agrees to pay to Licensor, its successors and assigns, a License Fee at \$70.00 per month per vehicle ("Parking Rate") for no less than eighteen (18) vehicles commencing March 1, 2022, until December 31, 2022, as applicable; and commencing January 1, 2023, at the rate of

\$85.00 per month per vehicle hereafter for no less than thirty (30) vehicles. Such amount shall increase by the Cleveland CPI each year for the balance of the Term, as extended if applicable. Term. In addition:

- (a) Such amount shall be paid by Licensee for all Tenant Vehicles for which parking cards have been issued by check or money order on the first of each month.
- (b) It is Licensee's responsibility to seek and collect reimbursement of such amount from its Qualified Tenants in the event they have not paid, provided, that a Qualified Tenant's failure to reimburse Licensee for the parking privileges outlined herein does not excuse Licensee from paying the License Fee outlined in this Section 4 as and when due.

(5) **Holding Over.** Any holding over after the expiration of said Term, without the consent of the Licensor, shall be construed to be a license agreement from month to month, and shall be on the terms and conditions herein specified, as far as applicable, provided, however, the monthly License Fee for each Licensed Vehicle during said holdover period, shall be \$150.00. At the option of the Licensor, in the event of a holdover the Licensee and/or any of its Qualified Tenants, such Qualified Tenants may be barred from parking any Tenant Vehicles (or any other vehicle) in the Designated Parking Area and/or may be towed at the expense of the Qualified Tenant.

(6) **Manager.** The name and the address of the Manager is Nautica Entertainment, Inc., 1231 Main Avenue, Cleveland, Ohio 44113.

(7) **Licensee's Insurance.** Licensor shall not be liable for any theft, destruction, loss, or damage to any property of Licensee, Licensee's agents and/or guests; except that caused by the gross negligence or willful misconduct of Licensor or its agent. Licensee must provide his/her own property and casualty vehicle insurance for such purpose. Proof of such insurance must be provided to the Manager prior to execution of this License Agreement.

(8) **Tenant Vehicles.** Licensee shall provide to Licensor a list of all Tenant Vehicles whom Licensee has granted permission to park in the Designated Parking Area and update such list of Tenant Vehicles ("Approved List"). Tenant Vehicles are strictly limited to vehicles of Tenants of Licensee Project. Parking cards shall only be issued for Vehicles which are on the Approved List. Manager may tow vehicles parking in the Designated Parking Area not on the Approved List. Such list shall include the following information for each Tenant Vehicle:

Make _____	Model _____
Year _____	Color _____
License# _____	State _____

- (a) Licensee shall be issued by Manager one (1) parking card for each registered Tenant Vehicle for use of the Designated Parking Area. At such time, Licensee shall pay a deposit of \$50.00 per card which shall be returned to Licensee upon return of any parking card(s) to Licensor. Said parking card and the rights conferred herein are strictly *non-transferable*. Licensee shall be charged \$25.00 for any replacement parking card(s) if lost or stolen. Licensee shall distribute such cards to its Qualified Tenants.

(b) It is agreed that there shall be no vehicles other than automobiles, minivans and/or motorcycles which may be registered as a Tenant Vehicle and operated, kept, or permitted in the Designated Parking Area by Licensee. Such Vehicles may remain overnight solely at the risk of the Licensee.

(c) The repairing and/or washing of vehicles of any kind is not permitted in the Designated Parking Area. Licensee's agents and guests may not park vehicles on Licensor's property unless and until said vehicle is first registered with Licensor. Any abandoned, inoperable vehicle or vehicle not having current license plates, may be towed from the Designated Parking Area at Licensee and/or owner's risk and expense.

(d) The use or storage of any Tenant Vehicle in or about the Designated Parking Area shall always be at the risk of the Licensee and each Qualified Tenant, and Licensor assumes no liability for said Tenant Vehicles or damage caused to or by said Tenant Vehicles. Licensee agrees to defend and indemnify Licensor from and against damages to property or injury to persons arising out of its use of the Designated Parking Area and/or operation of the Employee Tenant; except that caused by the gross negligence or willful misconduct of Licensor or its agent.

(e) Licensor reserves the right to lease the parking area when not being used by Qualified Tenants.

(9) Default. The following shall be considered an Event of Default under this License Agreement:

(a) Licensee shall be in default if the Licensee fails to pay the Licensee Fee when due or is in default of the prompt or full performance of any other provision of this License Agreement.

(b) Licensee shall be in default if Licensee shall violate or fail to observe any of the terms, conditions, rules, and regulations set forth or referred to herein, or if the parking privilege outlined herein is used in a manner reasonably objectionable to the Licensor or other persons parking vehicles in the Designated Parking Area.

(c) Licensee or its Qualified Tenants shall park or attempt to park the Tenant Vehicles in the Designated Parking Area after termination of this License Agreement.

(d) Licensee shall fail and maintain on file this License Agreement and the requisite information outlined in Section 8.

(10) Event of Default. In the case of an Event of Default,

(a) Licensor shall provide Licensee written notice of any Event of Default, such notice to specify the Event of Default and that Licensee shall cure same within ten (10) days of its receipt of the notice ("Notice of Default").

(b) Licensor may terminate this Licensee Agreement immediately without notice or service of process if Licensee fails to cure an Event of Default within ten (10) days following its receipt of a Notice of Default. In addition, if Licensee fails to cure such Event of Default as outlined herein, Licensor (i) shall be entitled to collect all License

Fees then due and owing by Licensee, and (ii) may remove by towing or otherwise, at Licensee's sole cost and expense, any and all Tenant Vehicles from the Designated Parking Area.

(c) All remedies which are granted to Licensor in this License Agreement are cumulative and Licensor shall have the right to exercise one or more remedies simultaneously. All rights and remedies of the Licensor herein set forth are in addition to any and all rights and remedies allowed by law and equity.

(11) Termination. This License Agreement automatically terminates:

(a) In the event of the sale of the Designated Parking Area by the Licensor to a third-party; provided, however, that in lieu of termination the Licensor shall use commercially reasonable efforts to relocate the Parking Spaces to any parking area(s) controlled by Licensor at Nautica east of the Main Avenue Bridge and which is otherwise agreed to by Licensee ("Alternative Parking Areas").

(b) If the Designated Parking Area and all of the Alternative Parking Areas are sold or developed in a way that, in Licensor's judgment, cannot accommodate parking to Licensee as outlined in this Agreement.

(c) If Licensee leases space in the Project or other buildings on the West Bank of the Flats in which it has any direct or indirect interest or there is common ownership ("Covered Buildings"), in whole or part, to a Prohibited Tenant as defined in Section 12.

(12) Prohibited Tenants. It is the intention of the parties that area buildings, including the Project, which have parking licenses will be leased to residential tenants or office tenants. Licensee may not lease or license, directly or indirectly space in the Project or any other Covered Buildings to any of the following types of Tenants:

(a) A nightclub, gentlemen's club, or similar establishments; and

(b) An entertainment use currently existing at the Nautica Entertainment Complex ("Nautica") (e.g., comedy club, banquet room, live music) or any premises which offers casino games of any kind; and

(c) Any other use deemed inappropriate to the planned residential development in the Nautica Waterfront District as reasonably determined by the Licensor unless prior written approval is obtained from the Licensor.

(13) Maintenance of the Designated Parking Area. With respect to the Designated Parking Area, the following rules shall apply.:

(a) Parking in the Designated Parking Area is first come, first serve on a non-exclusive basis except as designated by signage permitted by Licensor.

(b) Licensee agrees to temporarily relocate the parking spaces (generally for a day or two for concerts or other special events) to a location in the Alternative Parking Area (or other location reasonable agreeable to Licensee at the request of the Licensor if necessary.

(c) Licensor shall control and maintain in good and working order the card reader for the Designated Parking Area or any Alternative Area.

(d) Licensor shall maintain in good and working order the surface of the Designated Parking Area and the perimeter fencing around such area.

(14) Redevelopment of the Parking Area. Licensor reserves the right to redevelop the Designated Parking Area or the Alternative Parking Area, including constructing one or more structures on it. In such an event, Licensor shall use commercially reasonable efforts to relocate the Designated Parking Area to any part of the Alternative Parking Area. If structured parking is constructed at Nautica and designated for parking for the Licensee as Alternative Parking Area, the Parking Rate shall be adjusted to be consistent with the comparable market structured parking in Cleveland. If the parties cannot agree on such adjustment to the Parking Rate, Licensee may terminate this Agreement. The Alternative Parking Area is located as outlined on **EXHIBIT A**.


(15) Rules and Regulations. Licensee agrees to abide by all the reasonable rules and regulations contained in this License Agreement or sent to Licensee by Licensor or as posted in Designated Parking Area. Licensee shall keep and observe such further reasonable rules and regulations as may later be required by Licensor, which may be necessary for the proper and orderly operation of the parking lots at Nautica. Failure to keep and observe said rules will constitute a Default under this License Agreement.

(Signature page next)

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first above written.

LICENSOR:

NAUTICA ENTERTAINMENT, LLC.

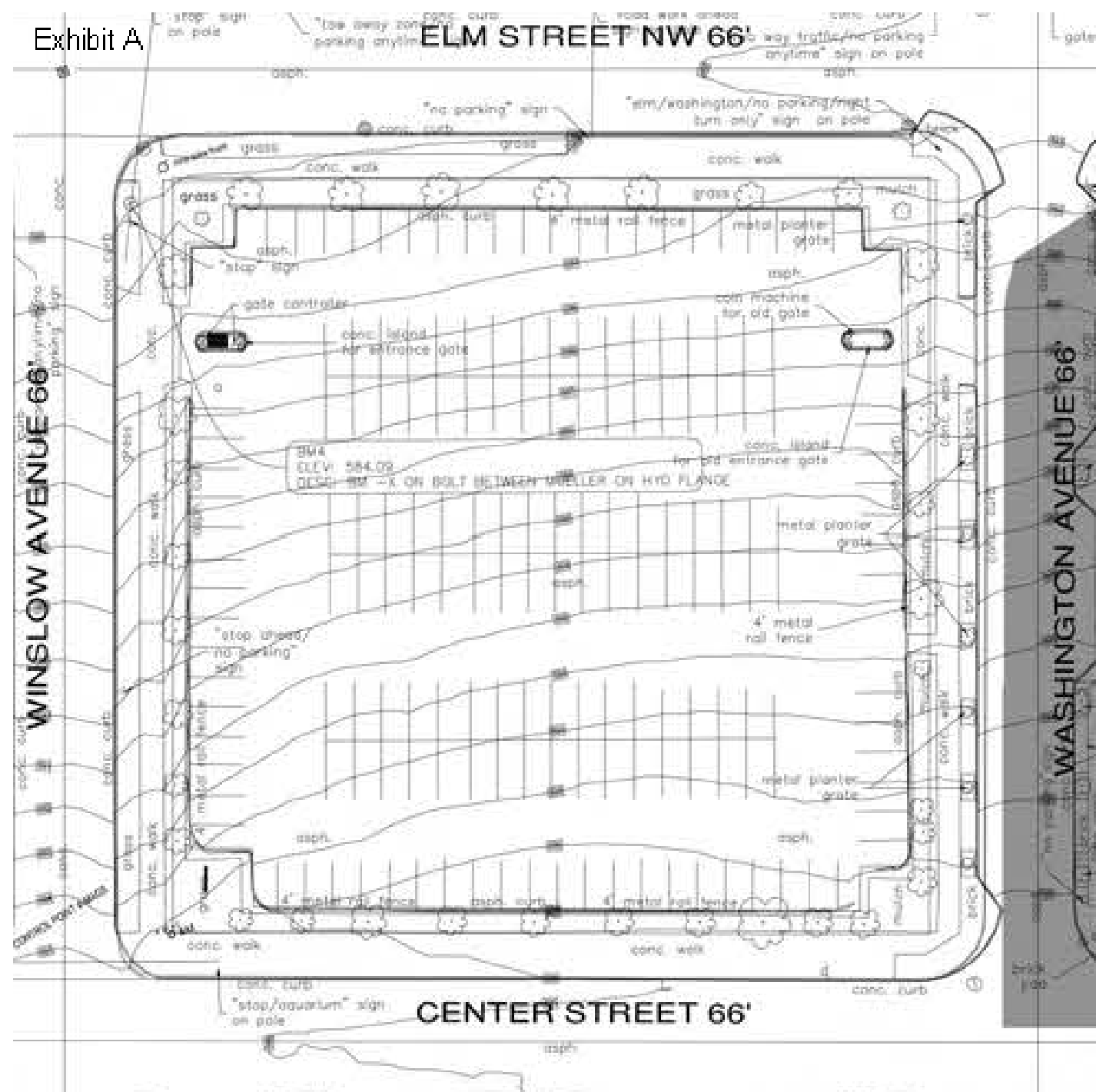

Patrick J. McKinley, Executive Vice-President

LICENSEE:

APARTMENT 92 The Apollo LLC


Michael Apt, Owner/President

Exhibit A



Public Hearing

Calendar No. 22-022:

4636 Oakley Ave

Ward 3

Mitza Perea, owner, propose to erect a second story addition and an attached garage to a single-family residence in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 357.05(a) which states that the required side street setback is 5' and the appellant is proposing no side street set back.
2. Section 357.05(b)(2) which states that on rear third of corner lot the setback is feet two feet, and the appellant is proposing no setback.
3. Section 357.06(a) which states that the required front yard setback is 7.5' and the appellant is proposing 5'. Please note that, per Section 329.04(c), the board is limited in its ability to grant a variance from the front yard requirements unless certain circumstances exist.
4. Section 357.08(b)(1) which states that the required rear yard is 23 feet, and the appellant is proposing 3 feet.
5. Section 357.09(b)(2) which states that the minimum distance from house on adjoining lot is 6 feet and the appellant is proposing 5 feet. This section also states that the required minimum interior side yard is 3 feet, and the appellant is proposing no interior side yard.
6. Section 355.04(b) which states that the maximum gross floor area shall not exceed 50 percent of lot size or in this case 1,400 square feet and the appellant is proposing 2,159 square feet (Filed February 1, 2022)



Public Hearing

Calendar No. 22-022:

4636 Oakley Ave

Ward 3



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting area variances from the side street, corner lot setback, front yard setback, rear yard, distance, side yard, and maximum gross floor area regulations of the zoning code.

To obtain the area variance, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

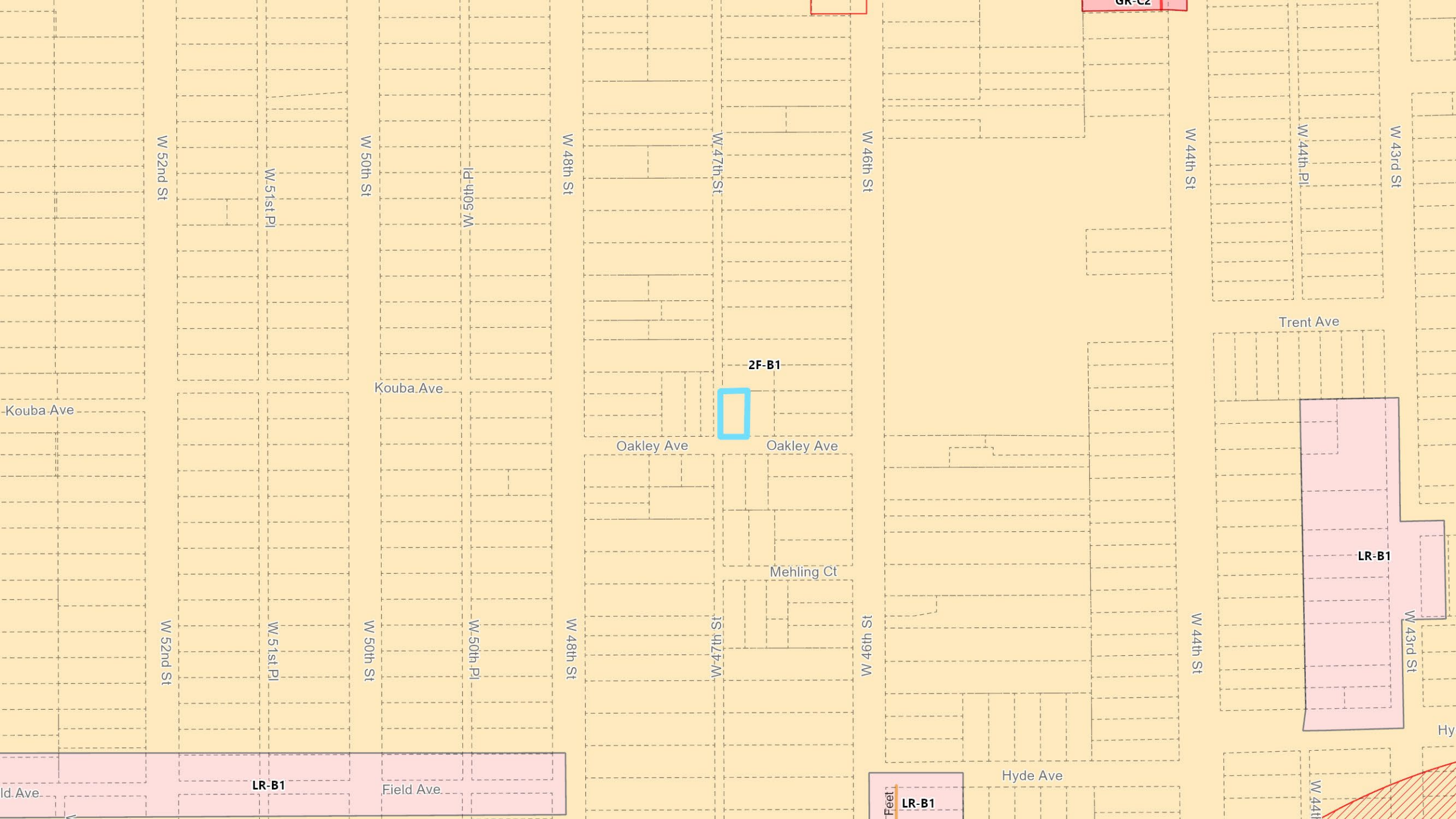
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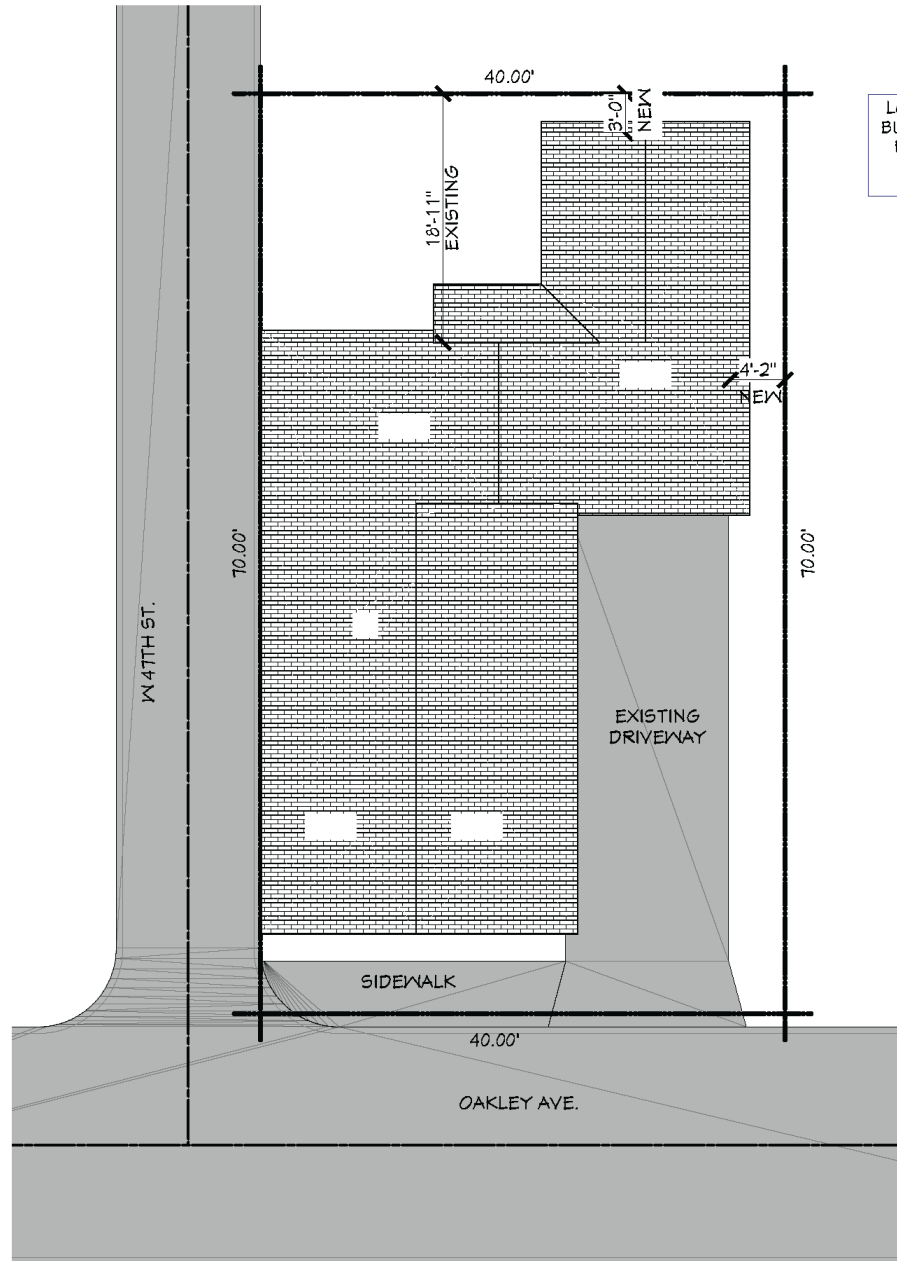
4636 Oakley Ave

Ward 3









LOT DIMENSIONS &
BUILDING LOCATION
PER COUNTY GIS
WEBSITE
INFORMATION

PARCEL #
016-14-094

DRAWING INDEX

- | | |
|-----|--|
| A-1 | - GENERAL CONSTRUCTION NOTES
- BASELINE STRUCTURAL CRITERIA
- SITE PLAN & ADDITION RENDERING |
| A-2 | - FOUNDATION PLAN |
| A-3 | - FLOOR PLANS |
| A-4 | - ELEVATIONS |
| A-5 | - ROOF PLAN
- WALL SECTIONS |
| A-6 | - ELECTRICAL PLANS
- ELECTRICAL SCHEDULE |
| A-7 | - PLUMBING PLAN
- HVAC PLAN |
| A-8 | - PLUMBING SCHEMATIC
- KITCHEN & BATH PLAN |

PROJECT SQUARE FOOTAGES (TO EXTERIOR OF PERIMETER WALLS)

TOTAL LOT AREA:	-	5,440 SQ.FT.
FIRST FLOOR LIVING AREA:	-	984 SQ.FT.
SECOND FLOOR LIVING AREA:	-	984 SQ.FT.
TOTAL LIVING AREA:	-	1,968 SQ.FT.



SITE PLAN
SCALE: 1/8" = 1'-0"



SOUTH



WEST



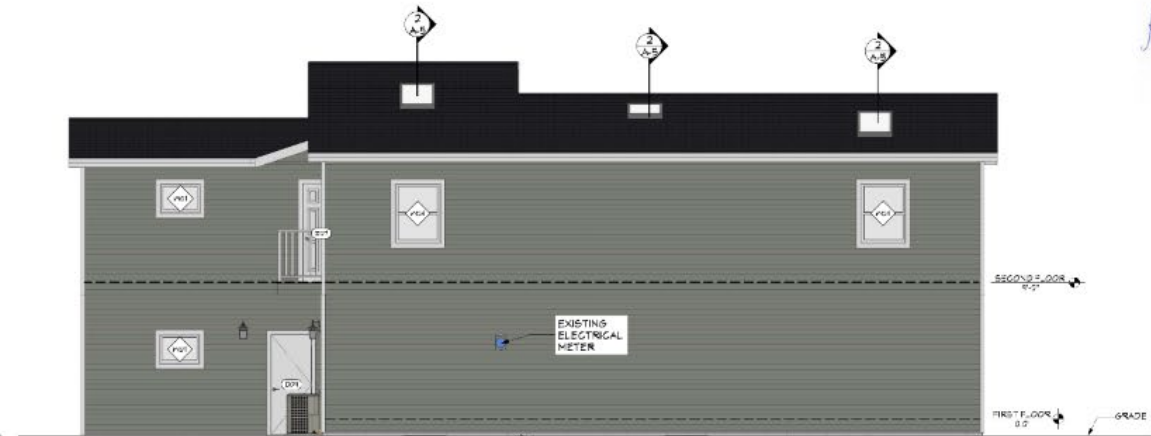
NORTH



EAST



FRONT/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



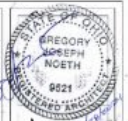
LEFT/WEST ELEVATION
SCALE: 1/4" = 1'-0"



BACK/NORTH ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT/EAST ELEVATION
SCALE: 1/4" = 1'-0"



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REMODEL & ADDITION FOR:
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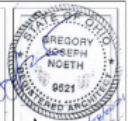
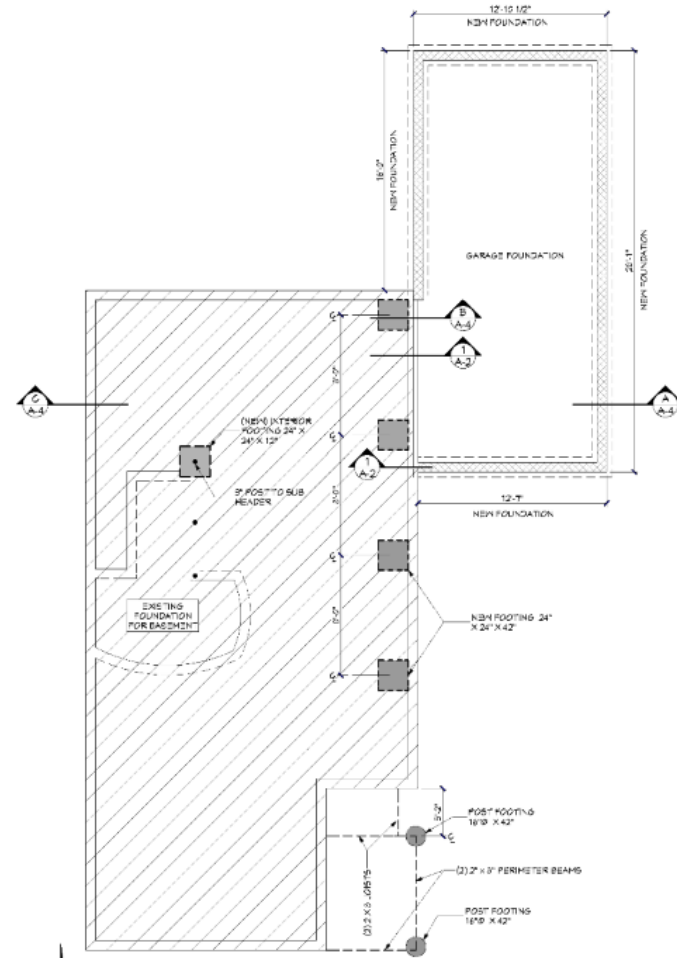
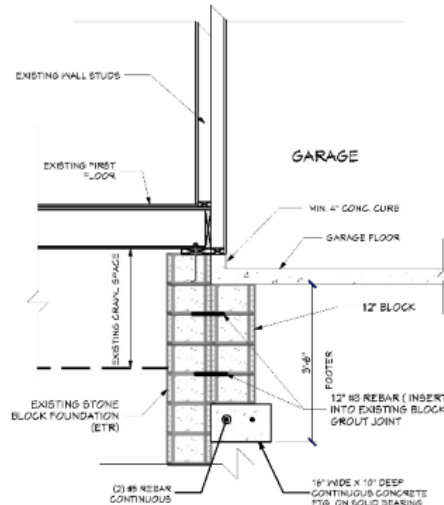
ROOM FINISH SCHEDULE					
ROOM NAME	AREA INTERIOR (SQ. FT.)	CEILING HEIGHT	WALL MATERIAL	FLOOR FINISH	CEILING FINISH
BALCONY	84	100'	OLIVE SIDING		DRYNALL, COLOR - BRITE 2
GARAGE	325	112', 120 3/4'	AFRICAN GRAY (S/N 4162)		DRYNALL, COLOR - BRITE 2
STAIRWELL	24	108 3/4'	AFRICAN GRAY (S/N 4162)	LIGHT - MP PLANK, FOAM UNDERLAYMENT	DRYNALL, COLOR - BRITE 2
KITCHEN	74	100'	AFRICAN GRAY (S/N 4162)	LIMESTONE TILES, THINSET MORTAR, BACKERBOARD 1/2"	DRYNALL, COLOR - BRITE 2
LIVING & DINING	375	100', 108 3/4'	AFRICAN GRAY (S/N 4162)	RED OAK 5" PLANK - WEATHERED, FOAM UNDERLAYMENT	DRYNALL, COLOR - BRITE 2
STUDY	34	100'	AFRICAN GRAY (S/N 4162)	RED OAK 5" PLANK - WEATHERED, FOAM UNDERLAYMENT	DRYNALL, COLOR - BRITE 2
ENTRY	15	100'	AFRICAN GRAY (S/N 4162)	RED OAK 5" PLANK - WEATHERED, FOAM UNDERLAYMENT	DRYNALL, COLOR - BRITE 2
LAUNDRY	16	100'	AFRICAN GRAY (S/N 4162)	RED OAK 5" PLANK - WEATHERED, FOAM UNDERLAYMENT	DRYNALL, COLOR - BRITE 2
UTILITY	20	100'	AFRICAN GRAY (S/N 4162)	RED OAK 5" PLANK - WEATHERED, FOAM UNDERLAYMENT	DRYNALL, COLOR - BRITE 2
TOTALS:	665				STOCK

WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT
W01	1	2	2820L5	52"	24"
W02	4	2	2340DH	52"	40"
W03	4	2	3020L5	36"	24"
W04	2	2	3040DH	56"	40"
W05	1	2	3020R5	56"	24"
W06	1	1	2820L5	50"	24"
W07	3	1	2220L5	52"	24"
W08	1	1	3020L5	36"	24"
W09	1	1	3020R5	56"	24"

SIZES SHOWN FOR THESE UNITS ARE APPROXIMATE - VERIFY SIZES IN FIELD
* DO NOT USE AS FINAL SIZE *

DOOR SCHEDULE					
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH
D02	2065	1	2	2088 L IN	24"
D03	2463	1	2	2466 L IN	28"
D04	2663	1	1	2666 L IN	30"
D05	2663	1	1	2666 R IN	30"
D06	2665	1	2	2669 L IN	30"
D07	2665	1	2	2669 R EX	30"
D08	2665	2	2	2669 L IN	30"
D09	2665	2	2	2669 R EX	30"
D10	2665	1	1	2669 L EX	32"
D11	3069	1	1	3066 L EX	36"
D12	3069	1	1	3066 L EX	36"
D13	4465	1	1	4465 L/R	52"
D14	5065	1	2	5065 L EX	60"
D15	5065	3	2	5065 L IN	60"
D16	4060	1	1	4060	108"

SIZES SHOWN FOR THESE UNITS ARE APPROXIMATE - VERIFY SIZES IN FIELD
* DO NOT USE AS FINAL SIZE *



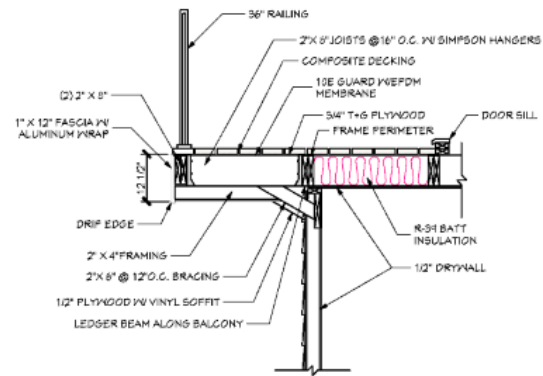
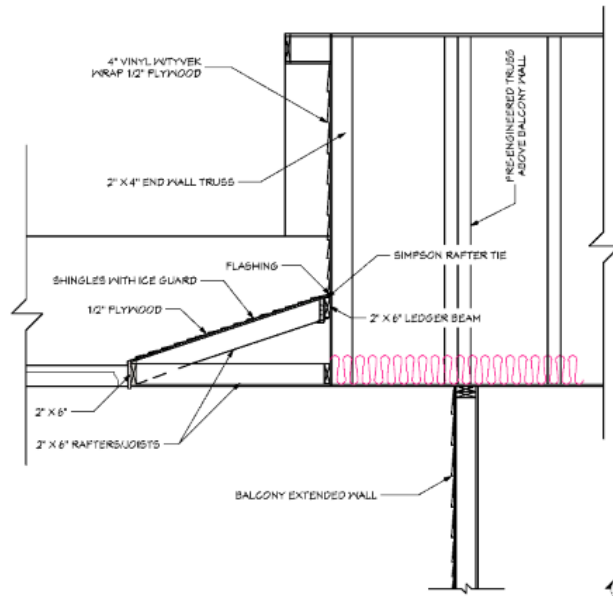
GREG J. NOETH, ARCHITECT
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216-751-2006
gnoeth@jgnoeth.com

REMODEL & ADDITION FOR:
4836 OAKLEY AVE.
CLEVELAND, OH 44109

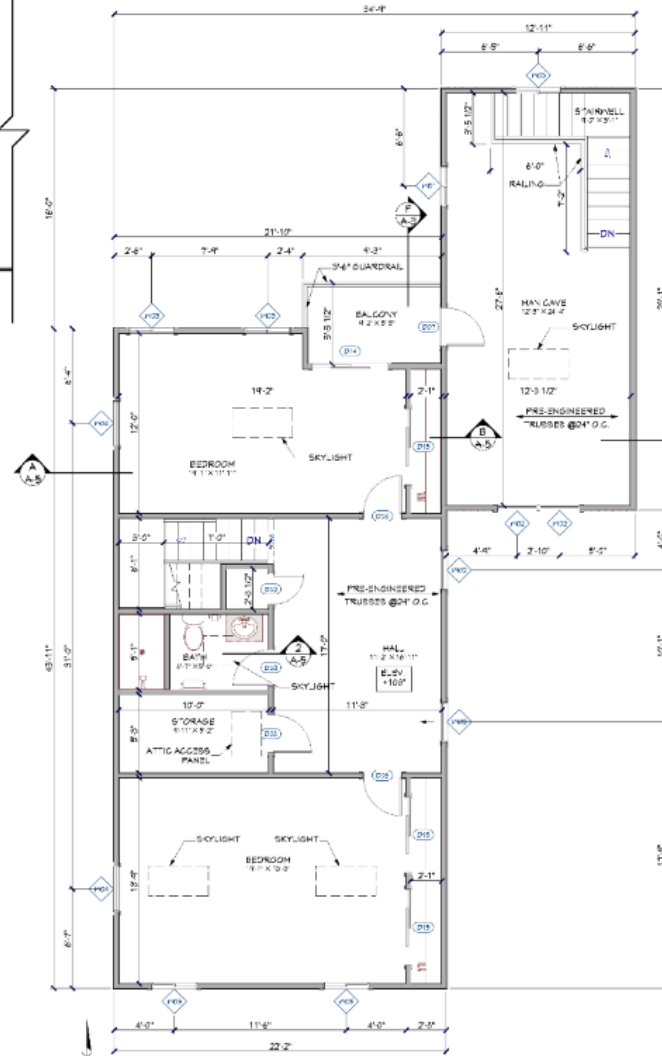
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gvoed.com@gmail.com (707) 245-1195

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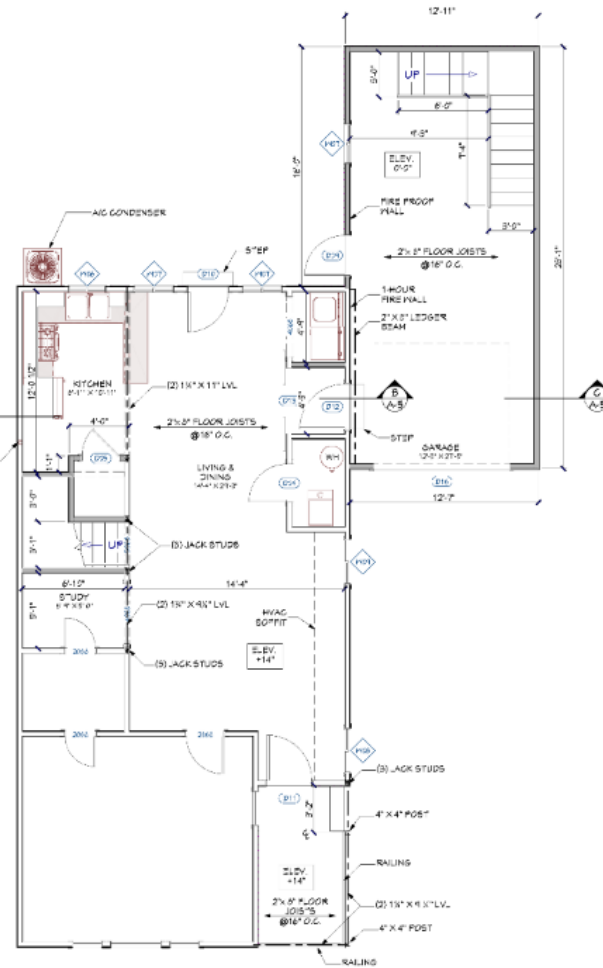
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SCALE: SHEET: A-2



BALCONY SECTION
SCALE: 3/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

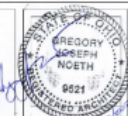


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL SCHEDULE:

1\"/>
1\"/>
1\"/>
1\"/>
1\"/>

NOTE:
ALL DIMENSIONS SHOWN IN CONCRETE OR
FOUNDATION SHALL BE PERMANENT, UNLESS NOTED.



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ROOF NOTES:

- CHANGES ONAL ASPHALT SHELSLES TO MATCH EXISTING
- 3" MIN. VOSGUARD @ ALL NEW ROOF PER METERS, WALLS & EXT. WALL/ROOF CONDITIONS
- CONV. ROOF VENTS, TYP.



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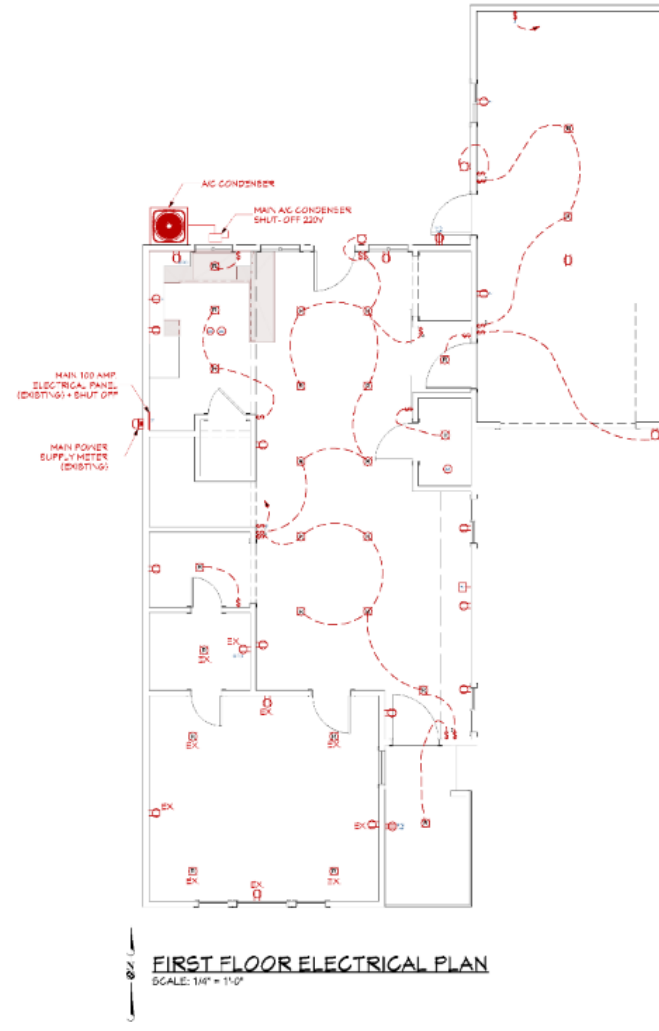
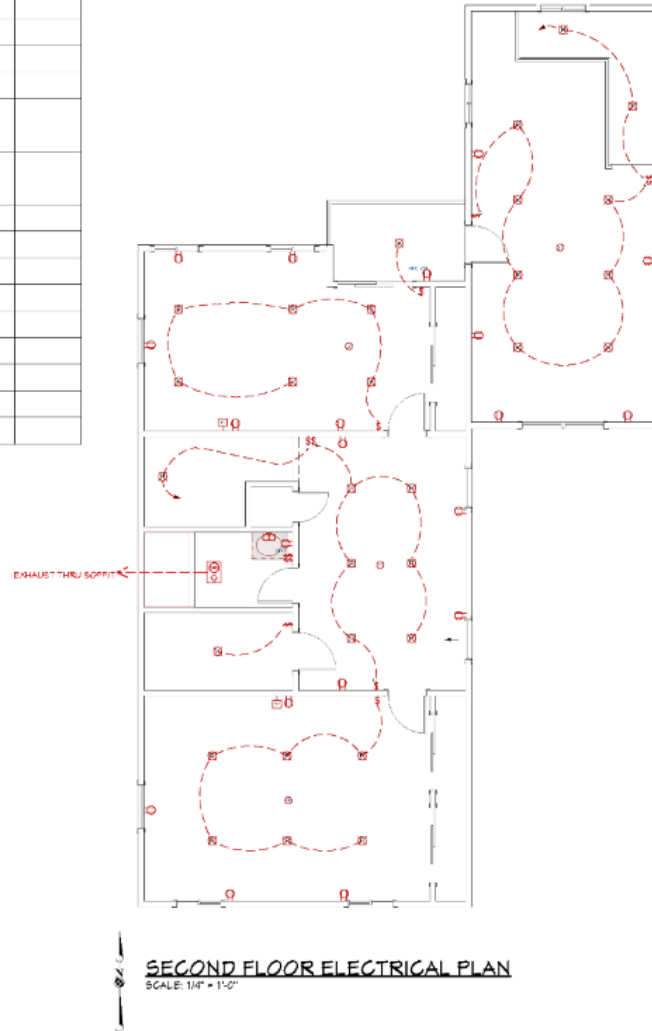
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2D SYMBOL	QTY	ATTACHED TO	ELECTRICAL SCHEDULE DESCRIPTION	CODE	MANUFACTURER	COMMENTS
	31	WALL	DECORATOR OUTLET			
	31	CEILING	RECESSED DOWN LIGHT 6"			
	3	WALL	TELEVISION JACK			
	15	WALL	SWITCH (DECORATOR)			
	1	WALL	MICROWAVE			
	1	WALL	ELECTRICAL PANEL - RECESSED			
	1	WALL	SCONCE 2"			
	3	WALL	DECORATOR GFI OUTLET			
	1	CEILING	EXHAUST FAN 04"			
	5	CEILING	SMOKE DETECTOR 1"			
	2	CEILING	CO DETECTOR			
	12	WALL	DECORATOR SWITCH 3-WAY			
	1	CEILING	DUPLEX CEILING MOUNTED			
	2	WALL	DUPLEX WEATHERPROOF			
	3	WALL	DECORATOR SWITCH 4-WAY			
	2	WALL	220V GFI W/P			
	1	WALL	ELECTRICAL METER			
	1	WALL	GFI W/P			
	1	WALL	LIGHT FIXTURE			
	2	WALL	ALISHERI WALL SCONCE			



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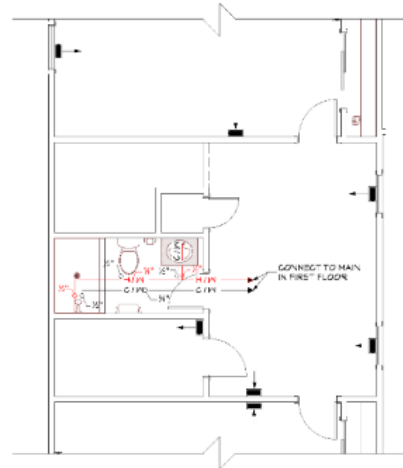
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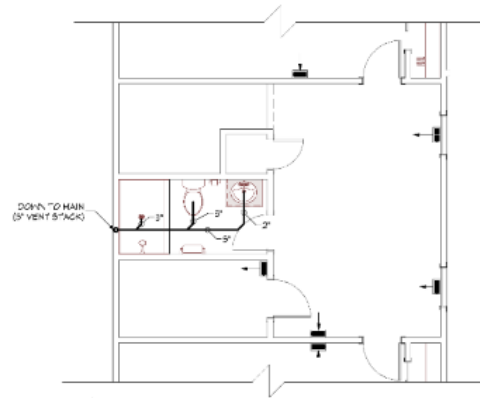
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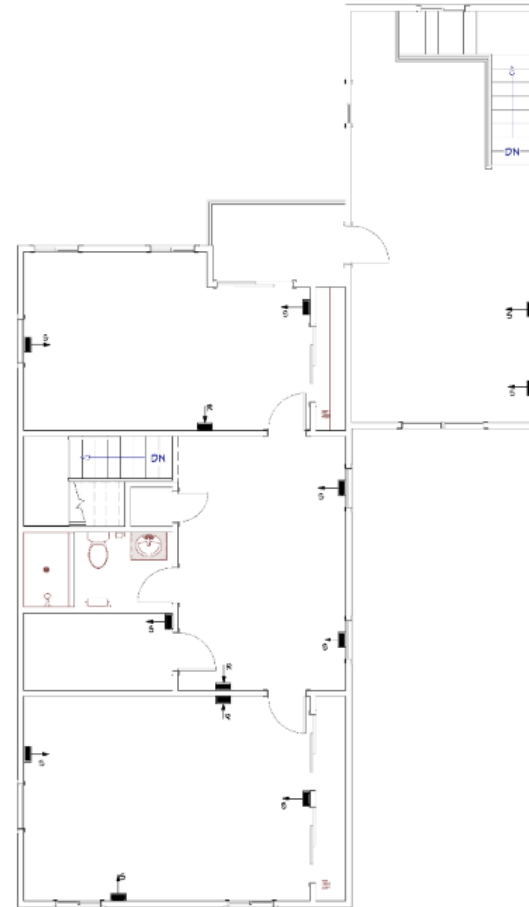
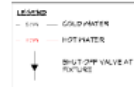
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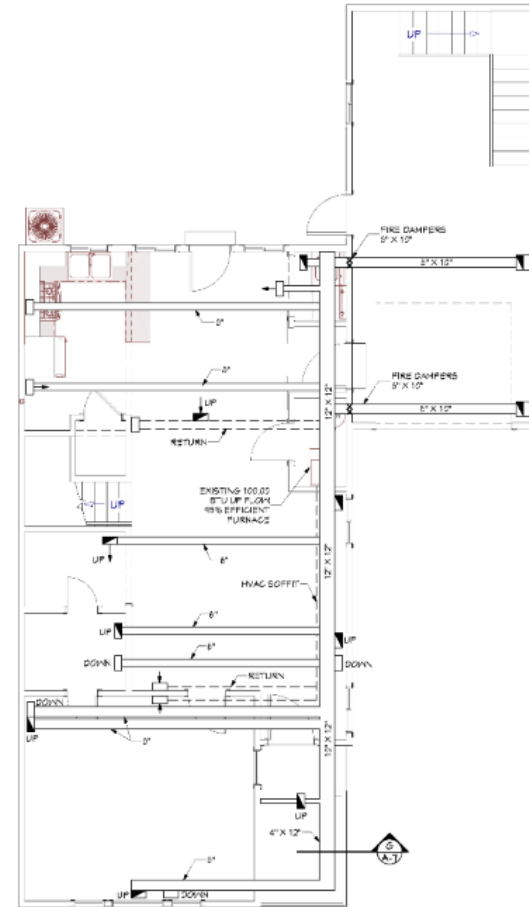
PLUMBING PLAN
SCALE: 1/4" = 1'-0"



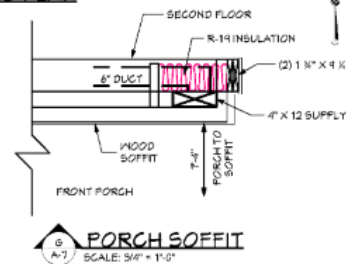
SANITARY PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR HVAC PLAN
SCALE: 1/4" = 1'-0"



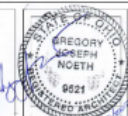
FIRST FLOOR HVAC PLAN
SCALE: 1/4" = 1'-0"



PORCH SOFFIT
SCALE: 5/8\"/>

HVAC NOTES:
1. ALL SUPPLY DUCTS HAS R-8 INSULATION
2. BRANCH DUCTS RUN IN JOIST SPACE

HVAC LEGEND:
120 CFM FLOOR REGISTER
120 CFM CEILING REGISTER
CABINET BASE 80 CFM
RETURN IN AIR JOIST SPACE



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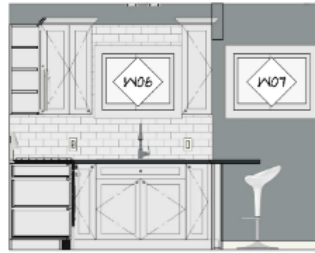
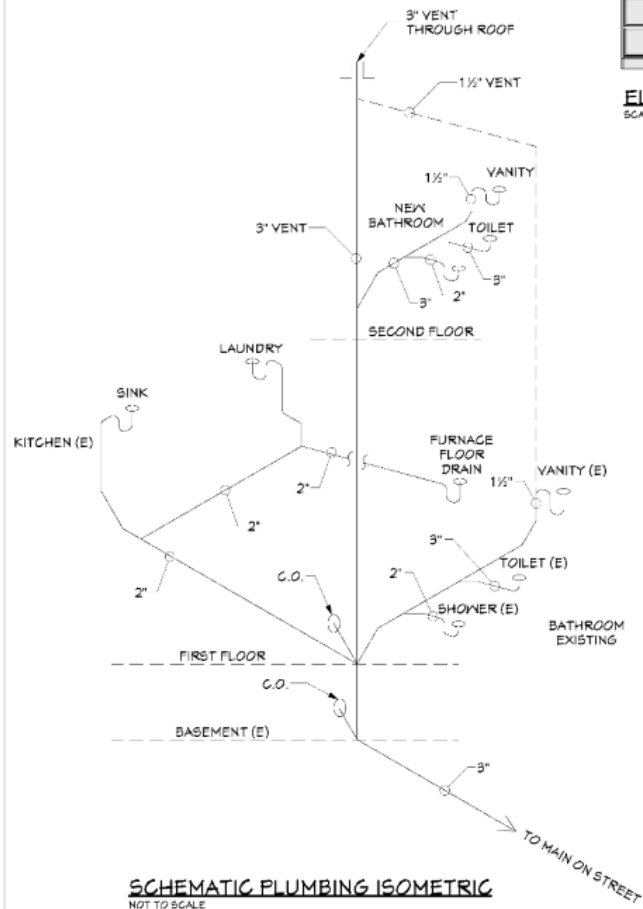
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SHEET:

A-7



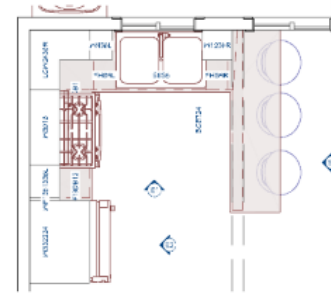
ELEVATION 1
SCALE: 1/2" = 1'-0"



ELEVATION 2
SCALE: 1/2" = 1'-0"



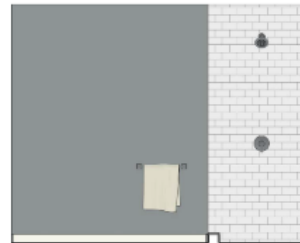
ELEVATION 3
SCALE: 1/2" = 1'-0"



KITCHEN PLAN
SCALE: 1/2" = 1'-0"



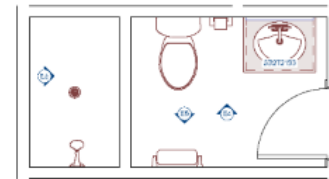
ELEVATION 4
SCALE: 1/2" = 1'-0"



ELEVATION 5
SCALE: 1/2" = 1'-0"



ELEVATION 6
SCALE: 1/2" = 1'-0"



BATHROOM PLAN
SCALE: 1/2" = 1'-0"



GREG J. NOETH, ARCHITECT
1790 SARATOGA AVENUE
CLEVELAND, OHIO 44103
216-751-2006 gnoeth@juno.com

REMODEL & ADDITION FOR:
4636 OAKLEY AVE.
CLEVELAND, OH 44109

GV DRAFTING & DESIGN SERVICES
gvoelzelcorp@gmail.com (707) 245-1195

Revision	Table
Number	Date

DATE:

8/02/2021

SCALE:

SHEET:

A-8



HISTORY OF THE PROPERTY





LEGAL STANDARD

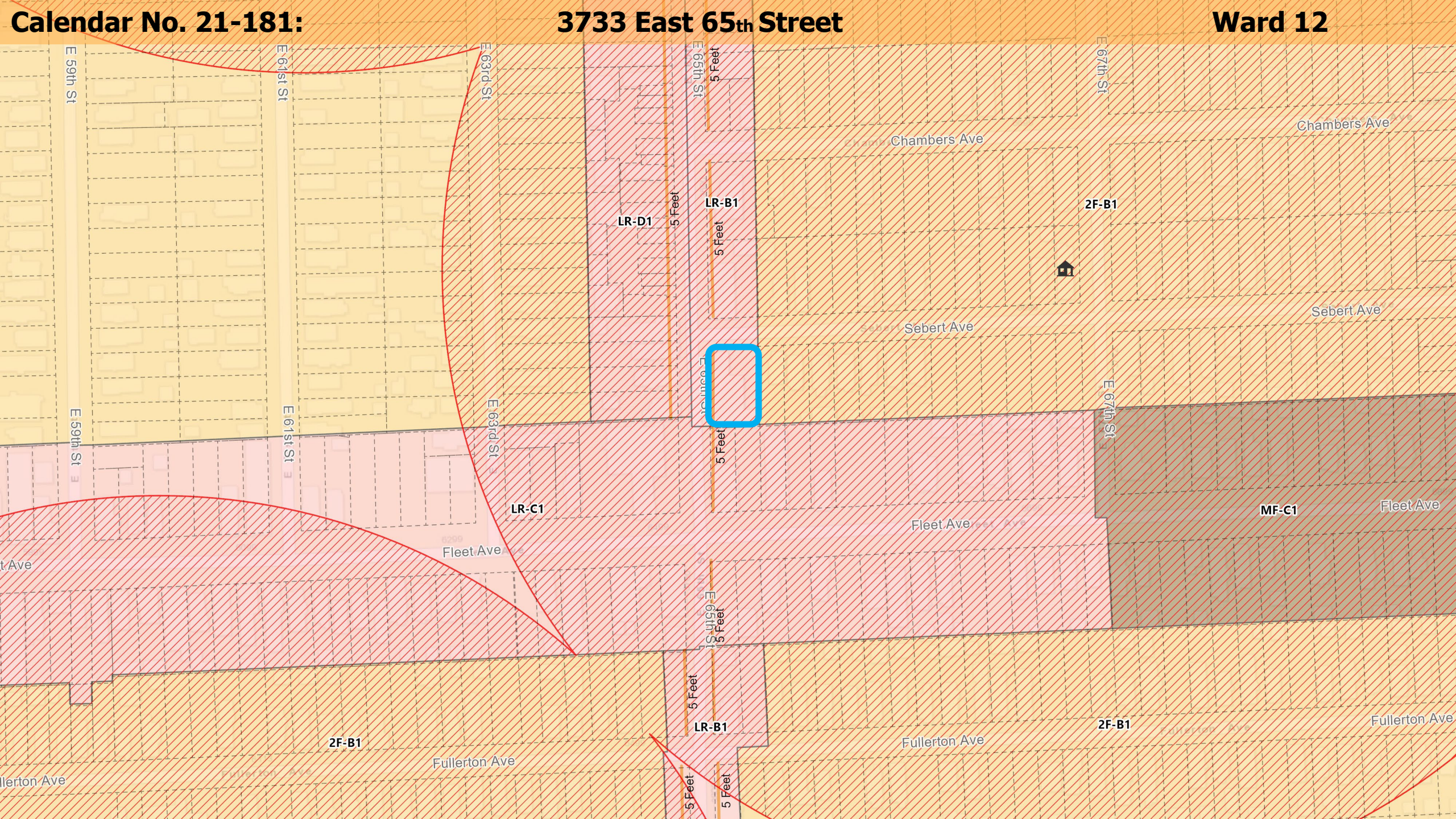
Madam Chair, Members of the Board, Appellant is requesting area variances from the off-street parking, screening, and landscaping requirements of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.









CITY OF CLEVELAND

Office of the Council

www.clevelandcitycouncil.org

Rebecca Maurer COUNCIL MEMBER, WARD 12

COMMITTEES: Health, Human Services & the Arts • Municipal Services & Properties • Transportation & Mobility • Rules

January 21, 2022

Ms. Elizabeth Kukla
City of Cleveland
Board of Zoning Appeals
601 Lakeside Avenue Rm 516
Cleveland, OH 44114

Re: Calendar No. 21181 (3733 E. 65th)

Dear Ms. Kukla;

I am unable to attend the BZA hearing for this case this morning, but wanted to let you know that I am not supportive of the variance that the owner of 3733 E. 65th is seeking at the January 24th hearing.

Slavic Village Development and our city planner have yet to review a plan for the redevelopment of this historic parcel along E. 65th.

Mr. Romano has yet to receive the appropriate approval from local and city planning commissions for the exterior improvements to this historic parcel. He is also unable to effectively show adequate parking for his tenants and their guests.

Because of these above reasons I am opposed to his variance request.

Sincerely,

Rebecca Maurer
Council Member, Ward 12

C: Slavic Village Development
file

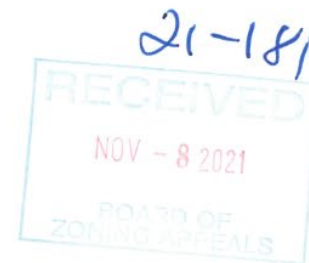
Slavic Village: Renovation & Revitalization Proposal

3733 East 65th
Cleveland, OH 44105

KRS PARTNERS LLC

Alexandra Kudukis

Ran Romano



Multifaceted Project: Single Mission

Community grows from common grounds.





Mission & Vision:

Mission: To invigorate Cleveland's communities economically, aesthetically, and culturally one house at a time.

Vision: Empower our clients and enrich the greater Cleveland area through cultural invigoration and economic opportunity.



Coffee One

- Community coffee shop
- Offer reasonably priced, locally sourced products
- Stimulate local economy

Collaboration Center



- Complementary community meeting spaces, reservations available for customers upon request
- Inclusive and safe spaces for meetings and recurring gatherings
- Increase community engagement, collaboration, and productivity

Cultural Enrichment & Appreciation



- Recognize the historic district & Slavic background
- An homage to Cleveland's abundant & diverse background
- Contribute positively to the identity of the local community
- Provide historical preservation for the local community

Apartments One

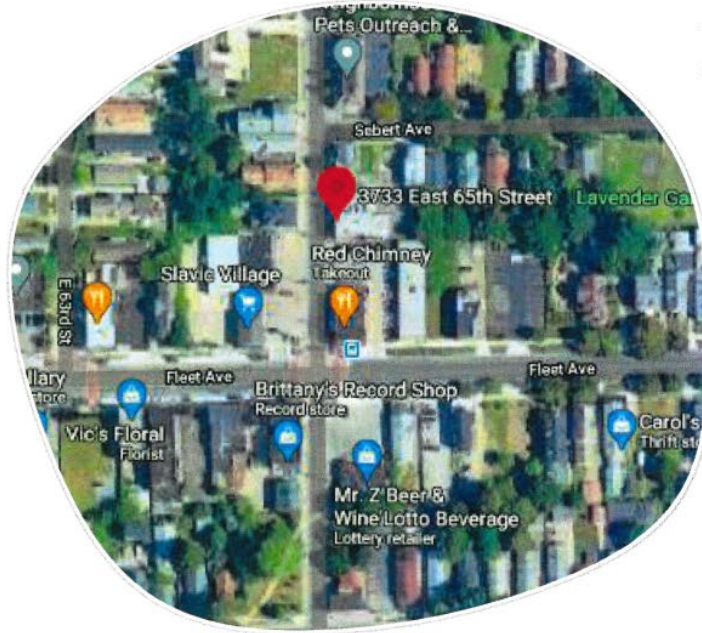


- Located above the first floor, Coffee One and Visitor's Center
- Clean, renovated, and affordable housing
- Updated infrastructure
- Attract existing community members and outside interest into the area, stimulating local economy

Positive Impact: Economic Growth



- Generates revenue to local community through tax revenue
- Attracts customers and supports other local businesses
- Cities with walkable local businesses invite shoppers to stay longer



Positive Impact: Economic Growth

- Higher percentages of money spent at small businesses stay locally within the community
- Visitor's Center includes pamphlets with local recommendations for guests, additional advertising for local businesses



Neighborhood Revitalization

- Investment is crucial for revitalization
- Reduce number of abandoned buildings & decrease crime
- Collaboration spaces offer an outlet for community building

Architectural Renderings

- Arch Tech:
Architect Paul Weir

Architectural Rehabilitation Documents

FOR

Apartment / Retail Rehabilitation

3733 East 65th Street
Cleveland, Ohio 44135



VICINITY MAP

CLIENT
KRS Partners LLC
1217 East 148th Street
Cleveland, Ohio 44135
Contact: Mr. Ron S. Romano

SITE ADDRESS
3733 East 65th Street
Cleveland, Ohio 44135

Tax ID Number
14-080817

OCCUPANCY / USE
MIXED - Multiple (see in Draw Schedule)

ZONING DISTRICT
Township: 14-01 Local Retail Business

CITY OF CLEVELAND PLANNER
Name: Catherine
ID: 11-01000017
Email: catherine@cityofcleveland.gov

NARRATIVE
THE EXISTING STRUCTURE LOCATED AT 3733 East 65th Street (hereinafter, "3733") IS AN ABANDONED, TWO- AND ONE-HALF STORY, WALK-UP FRAMER STRUCTURE WHICH IS PRESENTLY DIVIDED INTO THREE (3) SEPARATE UNITS: (1) FIRST FLOOR, (2) SECOND FLOOR, AND (3) THIRD FLOOR. THE STRUCTURE IS CURRENTLY IN DISREPAIR AND THE CITY OF CLEVELAND HAS ISSUED A VIOLATION ORDER ON THE SITE. THE MOST RECENT OF WHICH IS SUMMARIZED IN VIOLATION ORDER NUMBER DATED 05-01-20.

THE PROPOSED USE OF THE STRUCTURE WILL INCLUDE THE CORRECTION OF THE VIOLATIONS DESCRIBED IN PREVIOUSLY SUBMITTED VIOLATION. THE STREET, PLUMBING, RETAIL, AND ALL APARTMENT UNITS ARE TO BE REHABILITATED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES CURRENTLY IN EFFECT.

SINCE THE SCOPE OF THE ABOVE REFERENCED VIOLATION, THE OWNER HAS TAKEN MEASURES TO SECURE THE SITE FROM VIOLATIONS. IN ADDITION TO THE SECURITY BRIMS PLANNING, THERE HAVE BEEN MEASURES INSTALLED TO PROVIDE SECURITY.

THESE DOCUMENTS ARE PREPARED TO DISCLOSE THE APPOINTMENT NEEDED TO BRING THE PROPERTY INTO COMPLIANCE WITH THE CITY OF CLEVELAND. OUTLINED, THESE DOCUMENTS ARE PREPARED FOR BUILDING PERMIT SUBMITTAL AS IT IS REQUIRED THAT DEFERRED SUBMITTALS ARE BEING REQUESTED FOR THE MECHANICAL, PLUMBING, AND RETAIL REPAIRS. THESE DOCUMENTS WILL BE REQUIRED FOR THE MECHANICAL, PLUMBING, AND RETAIL REPAIRS. THESE DOCUMENTS WILL BE REQUIRED FOR THE MECHANICAL, PLUMBING, AND RETAIL REPAIRS.

THE ATTEMPT TO CORRECT THE STRUCTURAL DEFICIENCIES OUTLINED IN THE VIOLATION ORDER ABOVE. FOLLOWING THE SUBSEQUENT REPAIR, THE RETAIL UNITS WILL BE REHABILITATED AND THE BUILDING UNITS WILL BE REHABILITATED INDIVIDUALLY AND THEREFOR THE BUILDING FLOOR PLANS FOR THE BUILDING UNITS ARE SUBJECT TO CHANGE (BOTH BUILDING DEPARTMENT APPROVAL) BASED ON DEMAND, UNIT SIZE, ETC.

DEFERRED SUBMITTAL REQUEST
DEFERRED SUBMITTALS ARE BEING REQUESTED FOR THE FOLLOWING:

PLUMBING PLAN
MECHANICAL PLAN
ELECTRICAL PLAN

EXISTING USE
EXISTING BUILDING - UNOCCUPIED

PROPOSED USE
MIXED USE STRUCTURE WITH GROUND LEVEL RETAIL AND THREE (3) APARTMENT UNITS

CODE COMPLIANCE CHART

Code	Year
OHIO BUILDING CODE	2017
OHIO RESIDENTIAL CODE	2018
OHIO MECHANICAL CODE	2018
OHIO PLUMBING CODE	2018
ASCE STANDARDS	2015
NATIONAL ELECTRICAL CODE (NEC)	2017
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)	2017
INTERNATIONAL BUILDING CODE (IBC)	2018
INTERNATIONAL MECHANICAL CODE (IMC)	2018
INTERNATIONAL PLUMBING CODE (IPC)	2018
INTERNATIONAL RETAIL CODE (IRC)	2018

SHEET INDEX

- A-1 Cover Sheet
- A-2 Site Plan
- A-2a Rendered Site Plan
- A-3 Existing Basement Plan
- A-4 Foundation Repair Details
- A-5 First Floor Plan
- A-6 Second Floor Plan
- A-7 Existing West / South Exterior Elevations
- A-8 Existing East / North Exterior Elevations
- A-8a Rendered East Elevation
- A-9 Miscellaneous Details / Information
- A-10 General Notes and Specifications

Architectural
RENDERING
FOR THE CITY OF CLEVELAND
PROJECT LOCATION
3733 East 65th Street
Cleveland, Ohio 44135

Client
KRS Partners LLC
Mr. Ron S. Romano

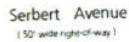
Project Location
3733 East 65th Street
Cleveland, Ohio 44135

Scale
1" = 20'-0"

Sheet
A-1

Date
10/10/2023

Drawn
1 of 10



_____	PROPERTY LINE
_____	RIGHT OF WAY
_____	OWNER LINE
_____	BUILDING SETBACK
_____	EXISTING BUILDING
	INDICATED PROPOSED CONCRETE SIDEWALK
	INDICATED THREE STORY STREET WALL
	INDICATED NUMBER OF PROPOSED PARKING STALLS (IN PARKING)

area of impervious	16,000 sq ft (0.07 acre)
building coverage	9,160 sq ft
area of parking	2,585 sq ft
area of sidewalks	970 sq ft
remaining green area	7,805 sq ft (0.18 acre)
total on-site parking space provided	8

- A. EXISTING CONCRETE GRAVELLY TO REMAIN
- B. SUB-CORRECT EXISTING EXISTING AND REINFORCED SECTION WEST AND
EAST OF EXISTING CONCRETE GRAVELLY TO REMAIN
- C. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
SECTION, DIMENSIONS (4' x 12')
- D. PROVIDE ONE (1) INCH THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
SECTION IN ANY DIRECTION
- E. PROVIDE ONE (1) INCH THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
SECTION IN ANY DIRECTION TO MATCH EXISTING
- F. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- G. EXISTING EXISTING EXISTING TO BE REINFORCED
- H. EXISTING EXISTING EXISTING TO BE REINFORCED
- I. EXISTING EXISTING EXISTING TO BE REINFORCED
- J. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- K. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- L. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- M. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- N. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- O. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- P. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- Q. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- R. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- S. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- T. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- U. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- V. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- W. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- X. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- Y. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED
- Z. 4" MIN. THICK CONCRETE SLAB WITH 10% MIN. REINFORCED

- 1) THERE IS NO OUTSTANDING WORK REQUIRED
- 2) THERE IS NO REQUIRED EXTERIOR SIDE WALKWAY AT THIS TIME
- 3) ALL EXISTING BUILDING, BUILDING AND ROOF MOUNTED EQUIPMENT IS COMPLIANT AND STRUCTURE IS NOT REQUIRING REPAIRS FOR AS OF 10/1/2018 AND ALL EXISTING ELECTRICAL AND JUNCTION BOXES WILL BE REPAIRED AND APPROVED BY BOTH THE BUILDING AND PLUMBING DEPARTMENTS PRIOR TO INSTALLATION
- 4) THE ACCESSIBLE ROUTE FROM THE PARKING AREA TO THE BUILDING SHALL COMPLY WITH THE ADA REQUIREMENTS FOR ACCESSIBILITY
- 5) THE ACCESSIBLE ENTRANCE SHALL COMPLY WITH REQUIREMENTS OF THE AMERICAN WITH DISABLED ACT
- 6) THE EXISTING ASPHALT PARKING LOT IS IN POOR CONDITION AND IS DAMAGED WITH THE ACCESSIBLE PROPERTY TO THIS LOT. NEW ASPHALT AND CURB SHALL BE REQUIRED TO BE CONSTRUCTED. THE BUILDING OWNER IS OBLIGATED UNDER THE ACCESSIBILITY PROVISIONS TO CONSTRUCT THE NEW ASPHALT

PLANT LIST				
PLANT	LT	LOCATION / COMMENTS	STATUS / COMMENTS	DATE
1	10	Plant 10 - 1000	1000 - 1000	10/10/10
2	20	Plant 20 - 2000	2000 - 2000	20/20/20

Atlanta
 COMPTON, INC. Atlanta, GA 30303
 404-525-1000
 404-525-1001
 404-525-1002

Proprietor:
KRS Partners LLC
Mr. Ran S. Romano

Project Location:
1733 East 65th Street
Cleveland, Ohio 44135

Issued for: preliminary
 ✓ construction August 14, 2020

drawn _____
 designed _____
 estimated _____

[illegible]

THE NEW YORK TIMES (1992)
 100-Page Newspaper 600-Page Book

The first night the print and digital newspapers only saw the headline of a million copies of a new paperback of *Clay's* memoirs. A half an hour later, copyright in the work in its paper and new versions on the Internet and elsewhere, both of May 6, 1992, together with a lot of other things, was transferred to the Internet in its own right. This is something that only happens when the entire world is online.

Job No. 20-028
A-2
Sheet 2 of 10

Photo 14

Photo 5a

Photo: 30

Index

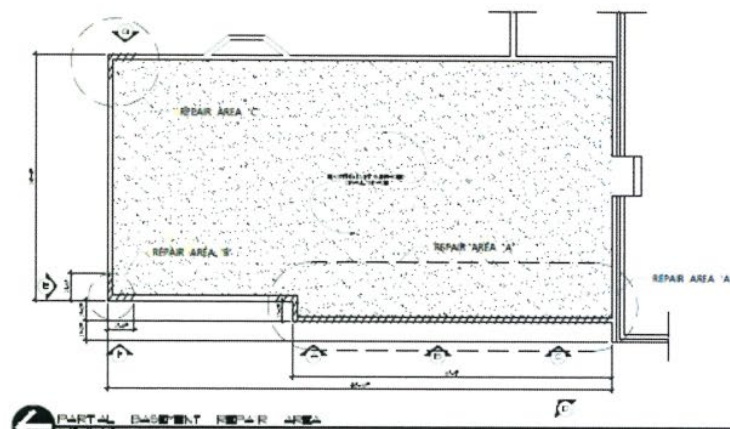


PHOTO ■

1000



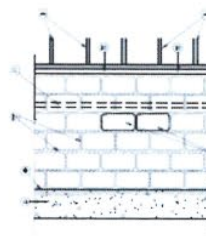
Photo 9*

[illegible]

PARTIAL BASEMENT REPAIR AREA

1. 下列各句，加粗的词语使用不当的一项是（ ）
A. 他为人处事，总是以和为贵，与人相处，总是谦恭下人，从不盛气凌人。
B. 他为人处事，总是以和为贵，与人相处，总是谦恭下人，从不盛气凌人。
C. 他为人处事，总是以和为贵，与人相处，总是谦恭下人，从不盛气凌人。
D. 他为人处事，总是以和为贵，与人相处，总是谦恭下人，从不盛气凌人。

7. 下列各句，没有语病的一项是（ ）
- A. 在《水浒传》中，作者对武松打虎的描写，情节曲折，引人入胜，令人回味无穷。
- B. 通过这次活动，使我们增长了见识，开阔了眼界。
- C. 他不仅在学习上刻苦努力，而且在体育方面也有很强的天赋。
- D. 我们应当重视对传统文化的继承和发扬。
8. 下列各句，没有语病的一项是（ ）
- A. 他不仅在学习上刻苦努力，而且在体育方面也有很强的天赋。
- B. 通过这次活动，使我们增长了见识，开阔了眼界。
- C. 他不仅在学习上刻苦努力，而且在体育方面也有很强的天赋。
- D. 我们应当重视对传统文化的继承和发扬。
9. 下列各句，没有语病的一项是（ ）
- A. 在《水浒传》中，作者对武松打虎的描写，情节曲折，引人入胜，令人回味无穷。
- B. 通过这次活动，使我们增长了见识，开阔了眼界。
- C. 他不仅在学习上刻苦努力，而且在体育方面也有很强的天赋。
- D. 我们应当重视对传统文化的继承和发扬。
10. 下列各句，没有语病的一项是（ ）
- A. 在《水浒传》中，作者对武松打虎的描写，情节曲折，引人入胜，令人回味无穷。
- B. 通过这次活动，使我们增长了见识，开阔了眼界。
- C. 他不仅在学习上刻苦努力，而且在体育方面也有很强的天赋。
- D. 我们应当重视对传统文化的继承和发扬。



4. 下列函数中, 在 $x=0$ 处不可导的是 ()
A. $y=x^2$ B. $y=x|x|$ C. $y=x^2 \cos \frac{1}{x}$ D. $y=x|x|$
5. 设函数 $f(x)$ 在 $x=0$ 处可导, 且 $f'(0)=1$, 则 $\lim_{x \rightarrow 0} \frac{f(x)-f(0)}{x}$ 的值为 ()
A. 0 B. 1 C. 2 D. 3
6. 设函数 $f(x)$ 在 $x=0$ 处可导, 且 $f'(0)=1$, 则 $\lim_{x \rightarrow 0} \frac{f(x)-f(0)}{x}$ 的值为 ()
A. 0 B. 1 C. 2 D. 3
7. 设函数 $f(x)$ 在 $x=0$ 处可导, 且 $f'(0)=1$, 则 $\lim_{x \rightarrow 0} \frac{f(x)-f(0)}{x}$ 的值为 ()
A. 0 B. 1 C. 2 D. 3
8. 设函数 $f(x)$ 在 $x=0$ 处可导, 且 $f'(0)=1$, 则 $\lim_{x \rightarrow 0} \frac{f(x)-f(0)}{x}$ 的值为 ()
A. 0 B. 1 C. 2 D. 3
9. 设函数 $f(x)$ 在 $x=0$ 处可导, 且 $f'(0)=1$, 则 $\lim_{x \rightarrow 0} \frac{f(x)-f(0)}{x}$ 的值为 ()
A. 0 B. 1 C. 2 D. 3
10. 设函数 $f(x)$ 在 $x=0$ 处可导, 且 $f'(0)=1$, 则 $\lim_{x \rightarrow 0} \frac{f(x)-f(0)}{x}$ 的值为 ()
A. 0 B. 1 C. 2 D. 3

- $R_{\text{eff}} = T$

~~FOUNDATION - ALL PEOPLE - DETAIL~~

TABLE 1



Aerial

1000 N. 1st Avenue, Suite 100, Chicago, IL 60610
 Phone: 312.329.1234
 Fax: 312.329.1235
 E-mail: info@aerial.com

Foundation Repair Details

Proprietor:
KRG Partners LLC
 Mr. Ken S. Romano

Project Location:
 1793 East 59th Street
 Cleveland, Ohio 44115

Issued For:
☒ preliminary construction August 10, 2008

Drawn: W. J. Jones
Designed: W. J. Jones
Engineered: _____
Reviewed: _____

REVISIONS:

1. **REVISIONS:** See attached drawings for foundation repair details.
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____

1. All drawings shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
 2. All drawings shall be in accordance with the latest edition of the International Mechanical Code (IMC) and the International Plumbing Code (IPC).
 3. All drawings shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Electrical Code (IEC).
 4. All drawings shall be in accordance with the latest edition of the International Energy Conservation Code (IECC) and the International Green Building Code (IGBC).
 5. All drawings shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
 6. All drawings shall be in accordance with the latest edition of the International Mechanical Code (IMC) and the International Plumbing Code (IPC).
 7. All drawings shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Electrical Code (IEC).
 8. All drawings shall be in accordance with the latest edition of the International Energy Conservation Code (IECC) and the International Green Building Code (IGBC).
 9. All drawings shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
 10. All drawings shall be in accordance with the latest edition of the International Mechanical Code (IMC) and the International Plumbing Code (IPC).

100 N. 1st Avenue, Suite 100, Chicago, IL 60610
 Phone: 312.329.1234
 Fax: 312.329.1235
 E-mail: info@aerial.com

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
3. ALL FOUNDATION WORK SHALL BE COMPLETED PRIOR TO THE START OF SUPERSTRUCTURE CONSTRUCTION.
4. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE ACI 308.1R-95.
5. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE SPECIFIED.
6. ALL STEEL MEMBERS SHALL BE GALVANNEAL UNLESS OTHERWISE SPECIFIED.
7. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
8. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL PLUMBING CODE (NPC).
9. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE OF FINISHES.
10. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
11. ALL EXISTING STRUCTURES TO REMAIN SHALL BE REINFORCED AND STRENGTHENED AS REQUIRED.
12. ALL NEW STRUCTURES SHALL BE DESIGNED TO RESIST SEISMIC FORCES IN ACCORDANCE WITH THE IBC.
13. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
14. ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE.
15. ALL WASTE SHALL BE REMOVED FROM THE SITE DAILY.
16. ALL SAFETY PRECAUTIONS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
17. ALL INSPECTIONS SHALL BE SCHEDULED WITH THE LOCAL BUILDING DEPARTMENT.
18. ALL RECORD DRAWINGS SHALL BE MAINTAINED UP TO DATE.
19. ALL UTILITIES SHALL BE PROTECTED DURING CONSTRUCTION.
20. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

RESIDENTIAL UNIT NOTE

1. ALL UNITS SHALL BE DESIGNED TO ACCOMMODATE TWO (2) RESIDENTS.

2. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) BEDROOM AND ONE (1) BATHROOM.

3. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) KITCHEN AND ONE (1) LIVING AREA.

4. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) CLOSET.

5. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) BALCONY OR PATIO.

6. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) STORAGE AREA.

7. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) ENTRY AREA.

8. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) HALLWAY.

9. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) LINEN CLOSET.

10. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) PANTRY.

11. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) BREAKFAST ROOM.

12. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) DINING AREA.

13. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) LIVING ROOM.

14. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) SLEEPING PORCH.

15. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) MASTER BEDROOM.

16. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) BATHROOM.

17. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) CLOSET.

18. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) BALCONY OR PATIO.

19. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) STORAGE AREA.

20. ALL UNITS SHALL HAVE A MINIMUM OF ONE (1) ENTRY AREA.

KEY NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
3. ALL FOUNDATION WORK SHALL BE COMPLETED PRIOR TO THE START OF SUPERSTRUCTURE CONSTRUCTION.
4. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE ACI 308.1R-95.
5. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE SPECIFIED.
6. ALL STEEL MEMBERS SHALL BE GALVANNEAL UNLESS OTHERWISE SPECIFIED.
7. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
8. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL PLUMBING CODE (NPC).
9. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE OF FINISHES.
10. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
11. ALL EXISTING STRUCTURES TO REMAIN SHALL BE REINFORCED AND STRENGTHENED AS REQUIRED.
12. ALL NEW STRUCTURES SHALL BE DESIGNED TO RESIST SEISMIC FORCES IN ACCORDANCE WITH THE IBC.
13. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
14. ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE.
15. ALL WASTE SHALL BE REMOVED FROM THE SITE DAILY.
16. ALL SAFETY PRECAUTIONS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
17. ALL INSPECTIONS SHALL BE SCHEDULED WITH THE LOCAL BUILDING DEPARTMENT.
18. ALL RECORD DRAWINGS SHALL BE MAINTAINED UP TO DATE.
19. ALL UTILITIES SHALL BE PROTECTED DURING CONSTRUCTION.
20. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

COMMON AREA NOTE

1. ALL COMMON AREAS SHALL BE DESIGNED TO ACCOMMODATE ALL RESIDENTS.

2. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) ENTRY AREA.

3. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) HALLWAY.

4. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) LINEN CLOSET.

5. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) PANTRY.

6. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) BREAKFAST ROOM.

7. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) DINING AREA.

8. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) LIVING ROOM.

9. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) SLEEPING PORCH.

10. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) MASTER BEDROOM.

11. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) BATHROOM.

12. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) CLOSET.

13. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) BALCONY OR PATIO.

14. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) STORAGE AREA.

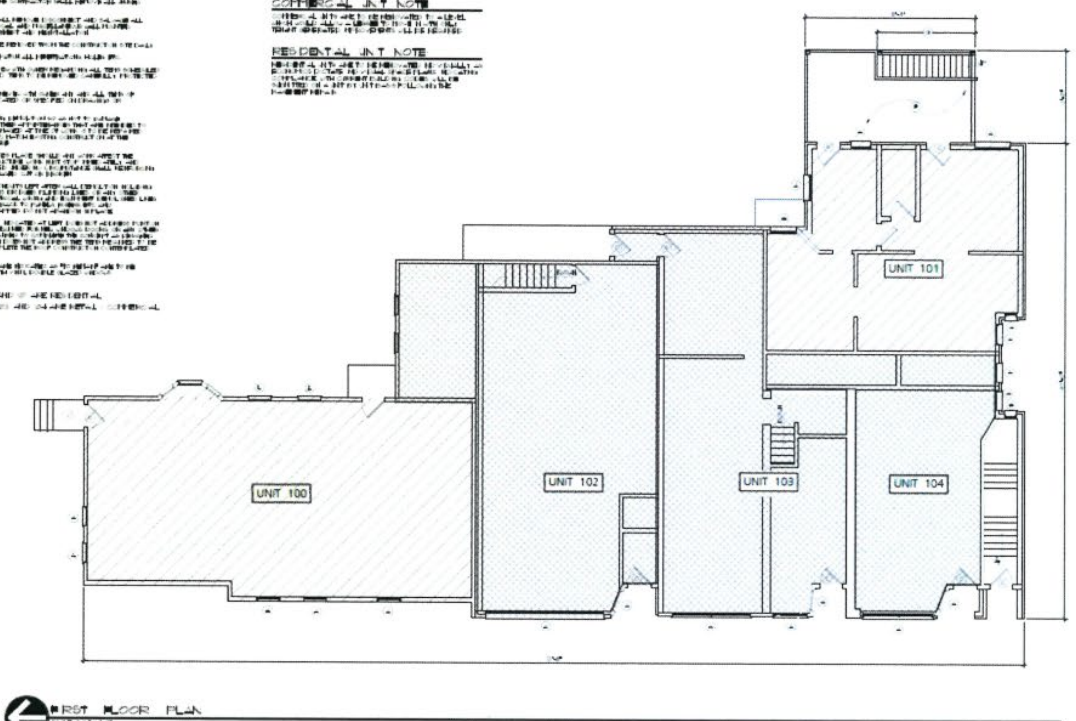
15. ALL COMMON AREAS SHALL HAVE A MINIMUM OF ONE (1) ENTRY AREA.

AREA TABLE

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL AREA (SQ. FT.)
1	UNIT 100	1,200	1,200
2	UNIT 101	1,200	2,400
3	UNIT 102	1,200	3,600
4	UNIT 103	1,200	4,800
5	UNIT 104	1,200	6,000
6	COMMON AREA	1,200	7,200
7	STAIRS	1,200	8,400
8	ELEVATOR	1,200	9,600
9	PATIO	1,200	10,800
10	LANDSCAPE	1,200	12,000
11	ROOF	1,200	13,200
12	WALLS	1,200	14,400
13	CEILING	1,200	15,600
14	FLOOR	1,200	16,800
15	MECHANICAL	1,200	18,000
16	ELECTRICAL	1,200	19,200
17	PLUMBING	1,200	20,400
18	PAINT	1,200	21,600
19	FINISHES	1,200	22,800
20	UTILITIES	1,200	24,000

LEGEND

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
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- 20. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



FIRST FLOOR PLAN

Architect
 1234 Main Street, Suite 500
 Chicago, IL 60601
 Phone: (312) 555-1234
 Fax: (312) 555-5678
 Email: info@architect.com

Proprietor:
 KRS Partners, LLC
 Mr. Ben S. Romano

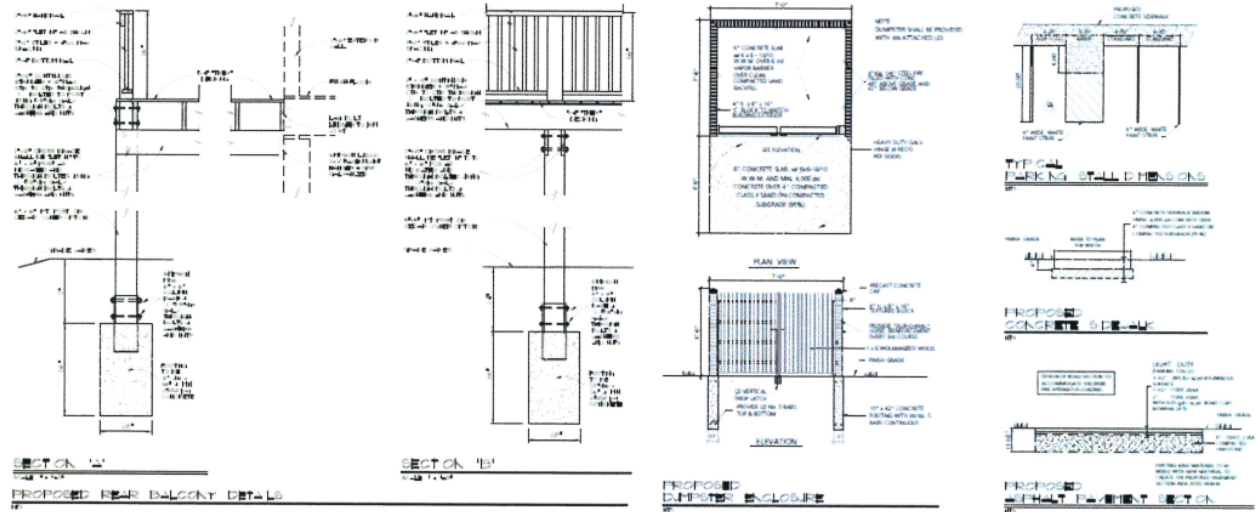
Project Location:
 1713 East 67th Street
 Chicago, IL 60637

Issued for:
 preliminary
 construction August 14, 2010

Drawn:
 designed:
 approved:

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 All Rights Reserved. No part of this document may be reproduced without the written permission of the architect. The architect assumes no responsibility for the construction of the project after the completion of the design. The architect's responsibility is limited to the design of the project and the construction of the project in accordance with the design. The architect is not responsible for the construction of the project in accordance with the design.

Job No.: 20-026
A-5
 Sheet 5 of 10



COMMONAL

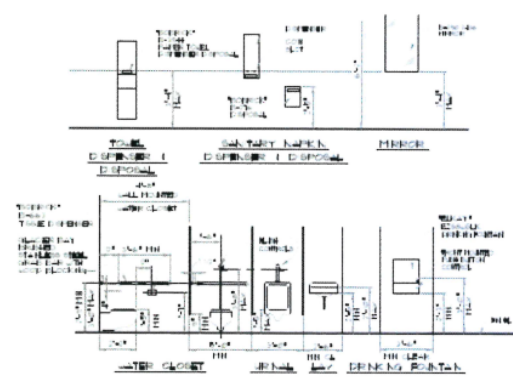
ROOM SCHEDULE

ROOM NAME	NO.	AREA	FINISH	CEILING	WALL	FLOOR	DOOR	WINDOW	STAIR	TOILET	OTHER
LOBBY	1	100	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
STAIR	2	50	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
TOILET	3	20	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
STAIR	4	50	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
TOILET	5	20	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT

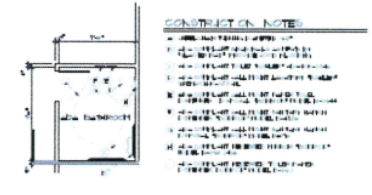
RESIDENTIAL

ROOM SCHEDULE

ROOM NAME	NO.	AREA	FINISH	CEILING	WALL	FLOOR	DOOR	WINDOW	STAIR	TOILET	OTHER
LOBBY	1	100	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
STAIR	2	50	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
TOILET	3	20	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
STAIR	4	50	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
TOILET	5	20	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT



COMMONAL BATHROOM DETAILS - COMMONAL BATHROOMS COMMONAL BATHROOMS



RESIDENTIAL ROOM DETAILS

A-9

Miscellaneous
Details / Information

Proprietor
KRS Partners LLC
Mr. Ran S. Romano

Project Location
17.51 East 65th Street
Cleveland, Ohio 44125

Issued for
preliminary construction August 14, 2020

Drawn
Designed
Approved

PROJECT
1. 17.51 East 65th Street
2. 17.51 East 65th Street
3. 17.51 East 65th Street

CONTRACT NO.
20-028

JOB NO.
20-028

Sheet
9 of 10

• 分類: 環境学, 社会学, 経済学, 政治学, 法学, 医学, 工学, 農学, 理学, 文学, 芸術学, 教育学, 心理学, 言語学, 歴史学, 地理学, 天文学, 宇宙学, 地球科学, 生命科学, 健康科学, 情報科学, 工学, 農学, 理学, 文学, 芸術学, 教育学, 心理学, 言語学, 歴史学, 地理学, 天文学, 宇宙学, 地球科学, 生命科学, 健康科学, 情報科学

- [illegible]

1. 下列各句，有语病的一项是（ ）
A. 通过这次活动，使我认识到保护环境的重要性。
B. 他不仅在学习上刻苦努力，而且在体育方面也有特长。
C. 为了防止这类事故不再发生，我们必须采取有效措施。
D. 即使遇到困难，我们也要坚持下去，不能轻易放弃。
2. 下列各句，没有语病的一项是（ ）
A. 他昨天去图书馆借了一本关于历史的书。
B. 我们班的同学都很喜欢打篮球。
C. 他不仅会唱歌，而且会跳舞。
D. 通过这次活动，使我认识到保护环境的重要性。
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C. 他昨天去图书馆借了一本关于历史的书。
D. 通过这次活动，使我认识到保护环境的重要性。

- 0-100-704

- [illegible]

1. 12月12日(星期三) 晴
 2. 12月13日(星期四) 晴
 3. 12月14日(星期五) 晴
 4. 12月15日(星期六) 晴
 5. 12月16日(星期日) 晴
 6. 12月17日(星期一) 晴
 7. 12月18日(星期二) 晴
 8. 12月19日(星期三) 晴
 9. 12月20日(星期四) 晴
 10. 12月21日(星期五) 晴
 11. 12月22日(星期六) 晴
 12. 12月23日(星期日) 晴
 13. 12月24日(星期一) 晴
 14. 12月25日(星期二) 晴
 15. 12月26日(星期三) 晴
 16. 12月27日(星期四) 晴
 17. 12月28日(星期五) 晴
 18. 12月29日(星期六) 晴
 19. 12月30日(星期日) 晴
 20. 12月31日(星期一) 晴

[illegible]



A-10

General Notes and Specifications

Proprietor:

KRS Partners LLC
 10000 Rte 50, Richmond, VA 23234

Project Location:

1783 East 50th Street
 Richmond, VA 23234

Issued For:

preliminary construction

August 14, 2020

By: John A. Smith
 Title: Owner

Revisions:

No.	Description	Date
1	Initial Issue	8/14/20
2	Revised	8/14/20
3	Revised	8/14/20
4	Revised	8/14/20
5	Revised	8/14/20
6	Revised	8/14/20
7	Revised	8/14/20
8	Revised	8/14/20
9	Revised	8/14/20
10	Revised	8/14/20

Contract No. _____

Scale: _____

Sheet No. **20-028**

A-10

Sheet 1 of 10



Opportunity for Community Growth

- Cultural Preservation
- Community Collaboration
- Visitors Center
- Renovated apartment buildings
- Economic revitalization

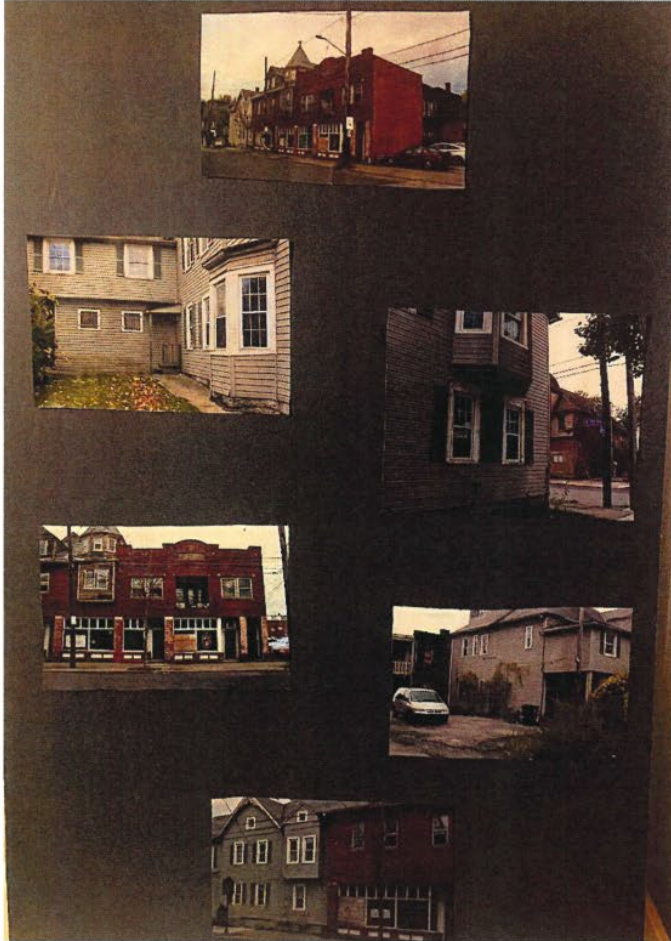
Current Photos







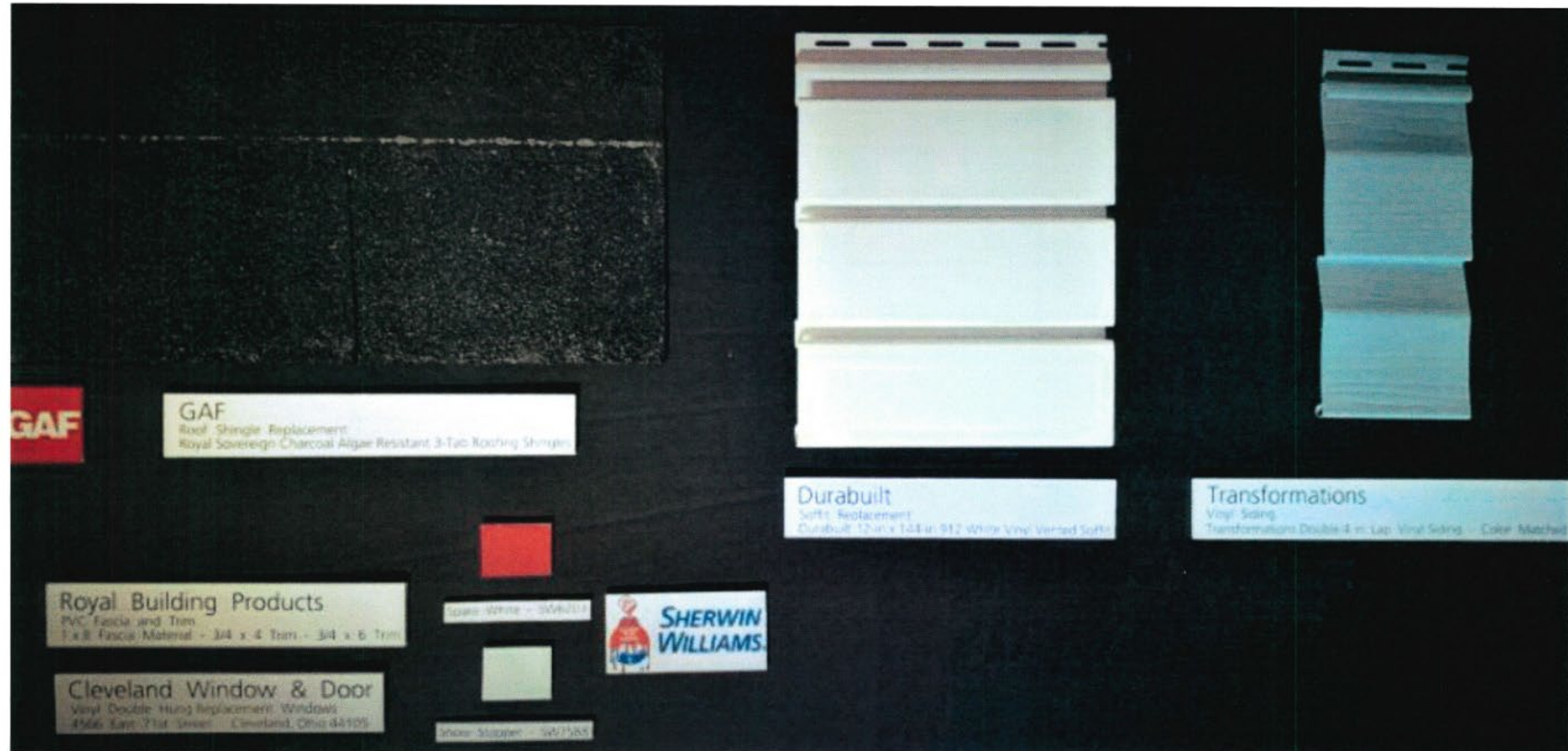




Exterior Pictures

- Front Right Corner
- Back of Building
- Front of Building
- Front- street view
- Left Corner View
- Back of building

Material Board



Covid-19 Precautions

Safety for community members and guests is a top concern and consideration.

Will adhere to all Covid-19 statutes:

- Mandatory masks when not dining
- Space tables, enforce social distancing
- Proper sanitation



Building After Renovations

White Trim added to exterior
of front of building

Cleveland Board of Zoning Appeals

Old Business



Public Hearing



1.	Cal. No. 21-160:	3532 W. 41 st St	(KB, TB, AF, MB)
2.	Cal. No. 21-192:	4705 Bridge Ave./CPC	(KB, TB, AF, MB)***
3.	Cal. No. 22-008:	1269 W. 76 th	(KB, TB, AF, MB)
4.	Cal. No. 22-007:	3395 E. 93 rd St.	(KB, TB, AF, MB)
5.	Cal. No. 21-203:	8502 Hough Ave.	(KB, TB, AF, MB)*
6.	Cal. No. 21-206:	4533 Warner Rd	(KB, TB, AF, MB)*
7.	Cal. No. 21-177:	18403 Euclid Ave.	(KB, TB, MB, AF)*
8.	Cal. No. 21-141:	7202 Hague Ave.	(KB, TB, AF, MB)*
9.	Cal. No. 21-091:	4157 Lorain Ave.	(D,KB,AF,MB)*
10.	Cal. No. 21-006:	9501 Pierpoint Ave.	(J,D,KB,AF,MB)* _{5/3/21}
11.	Cal. No. 20-098:	1854 W. 48 th Street	(J,D,KB,AF,MB)* _{8/24/2020 (lot cons)}

REQUESTS FOR AFFIRMATION : None.

REQUEST FOR REINSTATEMENT: Regarding Calendar Number 21-192 (appeal of Knez from the denial of a townhouse project at 4705 Bridge) Haydee Pagan, Steve Zamborsky, and Erin Lizak neighbors and parties affected by the decision referred to above, submitted a request For Reconsideration of your decision to reverse the City Planning Commission decision.

REQUEST FOR UPCOMING POSTPONEMENT: None.

MISC-

- ~ Items received
- * Pending the receipt of requested information by the Board.
- *** Request for Rehearing/Reconsideration.

Cleveland Board of Zoning Appeals

Adjournment

